

## General Notes (NCC 2019 BCA Vol 2)

All materials and work practices shall comply with, but not limited to the Building Regulations 2018, National Construction Code Series 2019 Building Code of Australia Vol 2 and all relevant current Australian Standards (as amended) referred to therein.

Unless otherwise specified, the term BCA shall refer to National Construction Code Series 2019 Building Code of Australia Volume 2.

All materials and construction practice shall meet the Performance Requirements of the BCA. Where a performance solution is proposed then, prior to implementation or installation, it first must be assessed and approved by the Relevant Building Surveyor as meeting the Performance Requirements of the BCA.

Glazing, including safety glazing, shall be installed to a size, type and thickness so as to comply with:

- BCA Part 3.6 for Class 1 and 10 Buildings within a design wind speed of not more than N3; and
- BCA Vol 1 Part B1.4 for Class 2 and 9 Buildings.

Waterproofing of wet areas, being bathrooms, showers, shower rooms, laundries, sanitary compartments and the like shall be provided in accordance with AS 3740-2010: Waterproofing of Domestic Wet Areas.

These Drawings shall be read in conjunction with any House Energy Rating (HERS) report and shall be constructed in accordance with the stamped plans endorsed by the accredited Thermal Performance Assessor without alteration.

Step sizes (other than for spiral stairs) to be:

- Risers (R) 190mm maximum and 115mm minimum
- Going (G) 355mm maximum and 240mm minimum
- 2R + 1G = 700mm maximum and 550mm minimum
- with less than 125mm gap between open treads.

All treads, landings and the like to have a slip-resistance classification of P3 or R10 for dry surface conditions and P4 or R11 for wet surface conditions, or a nosing strip with a slip-resistance classification of P3 for dry surface conditions and P4 for wet surface conditions.

Provide barriers where change in level exceeds 1000mm above the surface beneath landings, ramps and/or treads. Barriers (other than tensioned wire barriers) to be:

- 1000mm min. above finished surface level of balconies, landings or the like, and
- 865mm min. above finished surface level of stair nosing or ramp, and
- vertical with less than 125mm gap between, and
- any horizontal element within the barrier between 150mm and 760mm above the floor must not facilitate climbing where changes in level exceeds 400mm above the surface beneath landings, ramps and/or treads.

Wire barrier construction to comply with NCC 2019 BCA Part 3.9.2.3 for Class 1 and 10 Buildings and NCC 2019 BCA Volume 1 Part D2.16 for other Classes of Buildings.

Top of hand rails to be minimum 865mm vertically above stair nosing and floor surface of ramps.

Window sizes nominated are nominal only. Actual size may vary according to manufacturer. Windows to be flashed all around.

Where the building (excludes a detached Class 10) is located in a termite prone area the building is to be provided with a termite management system.

Concrete stumps:

- up to 1400mm long to be 100mm x 100mm (1 No. H.D. Wire)
- 1401mm to 1800mm long to be 100mm x 100mm (2 No. H.D. Wires)
- 1801mm to 3000mm long to be 125mm x 125mm (2 No. H.D. Wires)
- 100mm x 100mm stumps exceeding 1200mm above ground level to be braced where no perimeter base brickwork provided.

Buildings in marine or other exposure environments shall have masonry units, mortar and all built in components and the like complying with the durability requirements of Table 4.1 of AS 4773.1-2015 'Masonry in small buildings' Part 1: Design.

All stormwater to be taken to the legal point of discharge to the Relevant Authorities approval.

These drawings shall be read in conjunction with all relevant structural and all other consultants' drawings/ details and with any other written instructions issued in the course of the contract.

Site plan measurements in metres – all other measurements in millimetres unless noted otherwise.

Figured dimensions take precedence over scaled dimensions.

The Builder shall take all steps necessary to ensure the stability and general water tightness of all new and/or existing structures during all works.

The Builder and Subcontractors shall check and verify all dimensions, setbacks, levels and specifications and all other relevant documentation prior to the commencement of any works. Report all discrepancies to this office for clarification.

Installation of all services shall comply with the respective supply authority requirements.

The Builder and Subcontractor shall ensure that all stormwater drains, sewer pipes and the like are located at a sufficient distance from any buildings footing and/or slab edge beams so as to prevent general moisture penetration, dampness, weakening and undermining of any building and its footing system.

These plans have been prepared for the exclusive use by the Client of D3 for the purpose expressly notified to the Designer. Any other person who uses or relies on these plans without the Designer's written consent does so at their own risk and no responsibility is accepted by the Designer for such use and/or reliance.

The Client and/or the Client's Builder shall not modify or amend the plans without the knowledge and consent of D3 except where a Registered Building Surveyor makes minor necessary changes to facilitate the Building Permit application and that such changes are promptly reported back to D3.

The approval by this office of a substitute material, work practice, variation or the like is not an authorisation for its use or a contract variation. All variations must be accepted by all parties to the agreement and where applicable the Relevant Building Surveyor prior to implementing any variation.

(soil classification relocated)

## STORMWATER

100mm DIA. Class 6 UPVC stormwater line laid to a minimum grade of 1:100 and connected to the legal point of stormwater discharge. Provide inspection openings at 9000mm C/C and at each change of direction.

The cover to underground stormwater drains shall be not less than

- 100mm under soil
- 50mm under paved or concrete areas
- 100mm under unreinforced concrete or paved driveways
- 75mm under reinforced concrete driveways

## AUTHORITIES / CONSULTANTS

Municipality Name \_\_\_\_\_ Bayside \_\_\_\_\_ Ph 5950 1000

Sewerage Authority Name \_\_\_\_\_ South East Water \_\_\_\_\_ Ph 13 16 94

Relevant Building Surveyor Name \_\_\_\_\_ TBA \_\_\_\_\_ Ph 99999999

Consulting Structural Engineer Name \_\_\_\_\_ TBA \_\_\_\_\_ Ph 99999999

Geotechnical Engineer Name \_\_\_\_\_ TBA \_\_\_\_\_ Ph 99999999

Thermal Performance Assessor Name \_\_\_\_\_ TBA \_\_\_\_\_ Ph 99999999

## SITE ENVIRONMENT DESIGN INFORMATION

Site Bushfire Attack Assessment (simplified method)

NOTE: Bushfire requirements as per report, refer to bushfire consultants report. Project No. Reference document 'AS 3959-2018 construction of buildings in bush fire prone areas' Relevant Fire Danger Index (FDI)- Effective slope of land- Determination of Bushfire Attack Level (BAL)

## Site Classification

Site classification as Class: P  
Refer to soil report No: 1190350-1  
By: CIVIL TEST PTY LTD  
Date: 09.04.19

Design Gust Wind Speed / Wind Classification N1

Building tie-downs to be provided in accordance with AS1684-2010 for an assumed design gust wind speed/ wind classification of (subject to confirmation on site by Relevant Building Surveyor at first inspection) refer to AS1684 for construction requirements.

Climate Zone

Climate zone for thermal design / thermal performance assessment : Zone.

SMOKE ALARMS TO COMPLY WITH AS 3786-2014, AND TO BE INSTALLED IN ACCORDANCE WITH BCA 3.7.2 FOR ALL CLASS 1A AND 1B BUILDINGS. SMOKE ALARMS ARE TO BE DIRECT WIRED TO MAINS POWER SUPPLY AND INTERCONNECTED

TERMITE CONTROL TO COMPLY WITH AS 3660.1

**NOTE: OWNER TO SOURCE AND SUPPLY ALL CABINETS, TAPWARE AND TILES**

## SHEET INDEX

Layout No:	Layout Name	Published
WD.02	SITE PLAN - GROUND FLOOR	☒
WD.03	SITE PLAN- UPPER FLOOR	☒
WD.04	GARDEN AREA PLAN	☒
WD.05	FLOOR PLAN - BASEMENT LEVEL	☒
WD.06	FLOOR PLAN - GROUND FLOOR	☒
WD.07	FLOOR PLAN - UPPER FLOOR	☒
WD.08	ROOF PLAN	☒
WD.09	ELEVATIONS	☒
WD.10	ELEVATIONS	☒
WD.11	ELEVATIONS	☒
WD.12	WINDOW SCHEDULE	☒
WD.13	DOOR SCHEDULE	☒
WD.14	SECTIONS	☒
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WD.18	SECTIONS	☒
WD.19	SECTIONS	☒
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WD.21	SECTIONS	☒
WD.22	ELECTRICAL - BASEMENT	☒
WD.23	ELECTRICAL - GROUND FLOOR	☒
WD.24	ELECTRICAL - UPPER FLOOR	☒
WD.25	SUBFLOOR PLAN	☒

## GENERAL NOTES

-DO NOT SCALE FROM THESE DRAWINGS

- ALL DIMENSIONS AND LEVELS ARE TO BE VERIFIED ON SITE BY ALL CONTRACTORS PRIOR TO THE COMMENCEMENT OF ANY WORKS OR SHOP DRAWINGS

- EACH DRAWING SHALL BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND SPECIFICATIONS , INCLUDING THOSE OF SPECIALIST CONSULTANTS.

- ALL QUERIES OR DISCREPANCIES ARE TO BE DIRECTED TO THE BUILDING DESIGNER AND AWAIT INSTRUCTIONS BEFORE PROCEEDING.

- THESE DRAWINGS ARE SUBJECT TO COPYRIGHT AND REMAIN THE PROPERTY OF PRIME PROJECTS .

- REFER TO JOINERY DRAWINGS WHERE RELEVANT FOR EXACT POSITION OF LIGHTS AND OUTLETS WITHIN THE JOINERY UNITS.

- DRYER, WASHING MACHINE, COOKTOP & OVEN GPO'S ARE ALL TO BE ON SEPERATE CIRCUITS.

- ALL LIGHT FITTINGS TO BE SUPPLIED WITH LAMPS

- ALL WIRING SHALL BE FULLY CONCEALED

- PERMANANTLY LABEL FAN SWITCH TO KITCHEN

- REFRIDGERATOR GPO'S TO BE PERMANANTLY

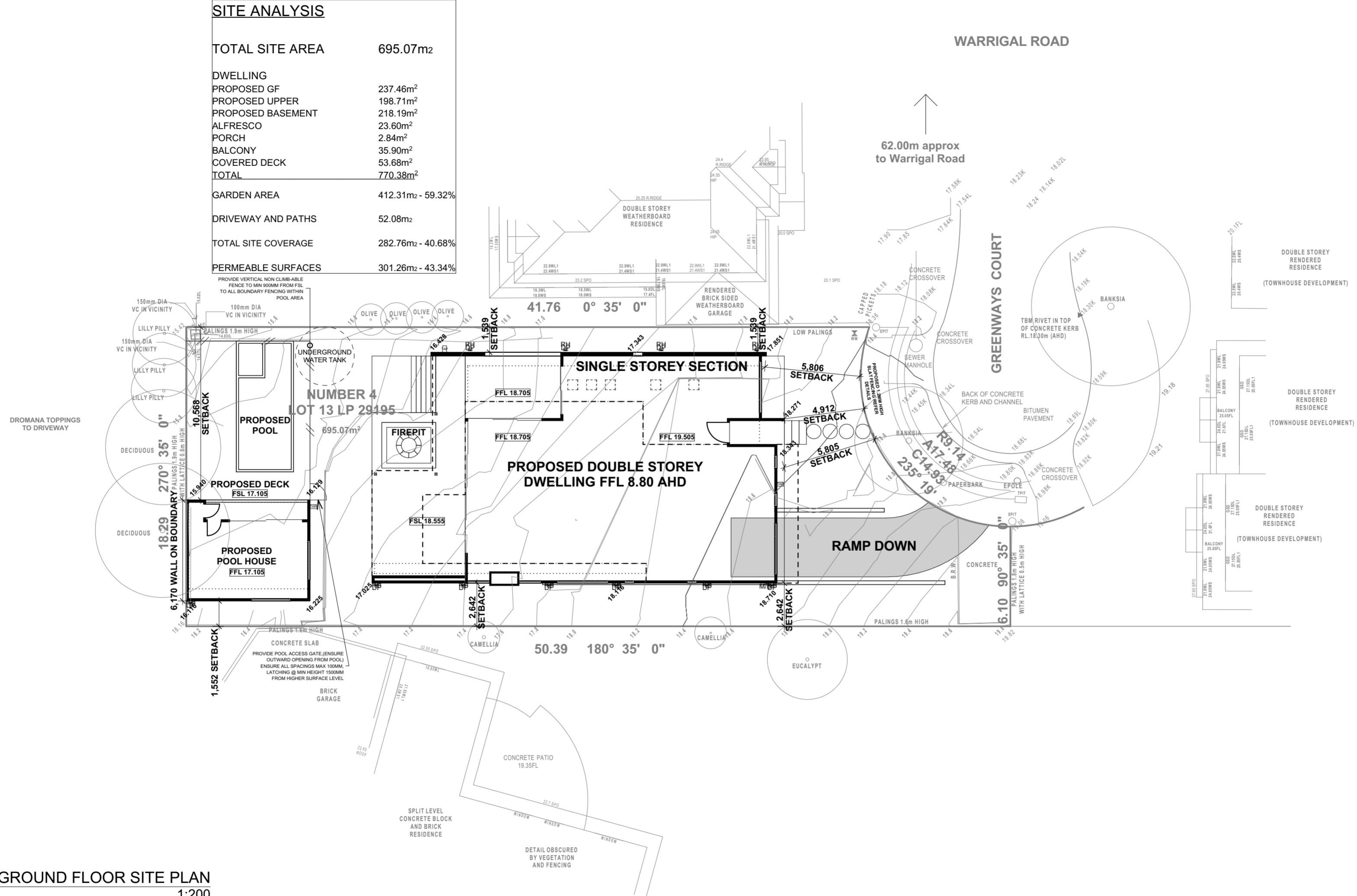
- PROVIDE LIFT OFF HINGES TO WC

- HWS ORIENTATION TO BE CONFIRMED ON SITE. AS PER REGULATIONS

revision:	date:	amendments:	address:	drawing title :	client :										
				<b>GENERAL NOTES</b>											
				scale : @ A2	<table border="1"> <tr> <td colspan="2">project number :</td> <td rowspan="2">drawing number :</td> </tr> <tr> <td colspan="2">19016</td> </tr> <tr> <td>date :</td> <td>drawn :</td> <td rowspan="2"><b>WD.01</b></td> </tr> <tr> <td>22/11/2022</td> <td>LB November 22</td> </tr> </table>	project number :		drawing number :	19016		date :	drawn :	<b>WD.01</b>	22/11/2022	LB November 22
project number :		drawing number :													
19016															
date :	drawn :	<b>WD.01</b>													
22/11/2022	LB November 22														

**\* ALL LEVELS SHOWN ARE TO AHD.**

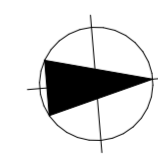
SITE ANALYSIS	
TOTAL SITE AREA	695.07m <sup>2</sup>
DWELLING	
PROPOSED GF	237.46m <sup>2</sup>
PROPOSED UPPER	198.71m <sup>2</sup>
PROPOSED BASEMENT	218.19m <sup>2</sup>
ALFRESCO	23.60m <sup>2</sup>
PORCH	2.84m <sup>2</sup>
BALCONY	35.90m <sup>2</sup>
COVERED DECK	53.68m <sup>2</sup>
TOTAL	770.38m <sup>2</sup>
GARDEN AREA	412.31m <sup>2</sup> - 59.32%
DRIVEWAY AND PATHS	52.08m <sup>2</sup>
TOTAL SITE COVERAGE	282.76m <sup>2</sup> - 40.68%
PERMEABLE SURFACES	301.26m <sup>2</sup> - 43.34%



GROUND FLOOR SITE PLAN  
1:200

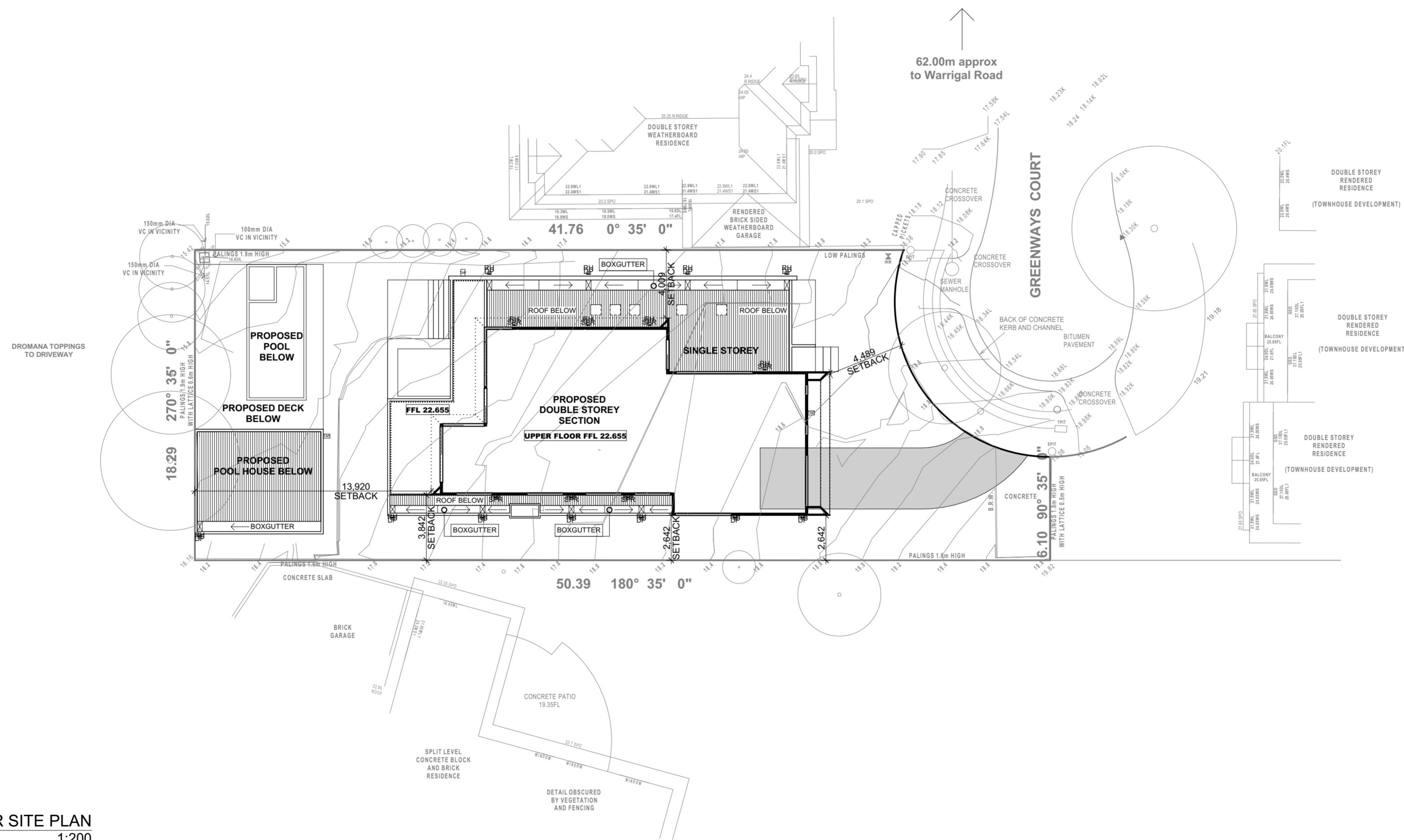
**SITE NOTES**

- ENGINEER DESIGNED CONCRETE SLAB TO 15.405 mm AHD AS PER FLOOD HEIGHT REQUIREMENTS BY LOCAL AUTHORITIES
- ENGINEER DESIGNED CONCRETE SLAB
- SITE SCRAPER OVER BUILDING AREA TO 15.155.
- TITLE INFORMATION TO BE CONFIRMED UPON RELEASE
- SITE SURVEY NOT AVAILABLE DUE TO INCOMPLETE SUBDIVISION ALL CONNECTION POINTS TO BE CONFIRMED PRIOR TO SITE START.
- EXISTING TREES WITHIN BUILDING AREA TO BE REMOVED BY PROPRIETOR AND SOIL STABILISED PRIOR TO SITE START
- COMPLETE SUPPLY & CONNECTION OF POWER TO SITE INCLUDING TEMPORARY POWER FOR CONSTRUCTION PURPOSES, BY PROPRIETOR
- TERMITE CONTROL AS PER CONTRACT DOCUMENTS

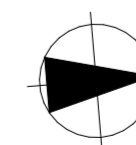


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				date:	drawn:
				22/11/2022	LD November 22
				scale:	<b>WD.02</b>
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\* ALL LEVELS SHOWN ARE TO AHD.



UPPER FLOOR SITE PLAN  
1:200



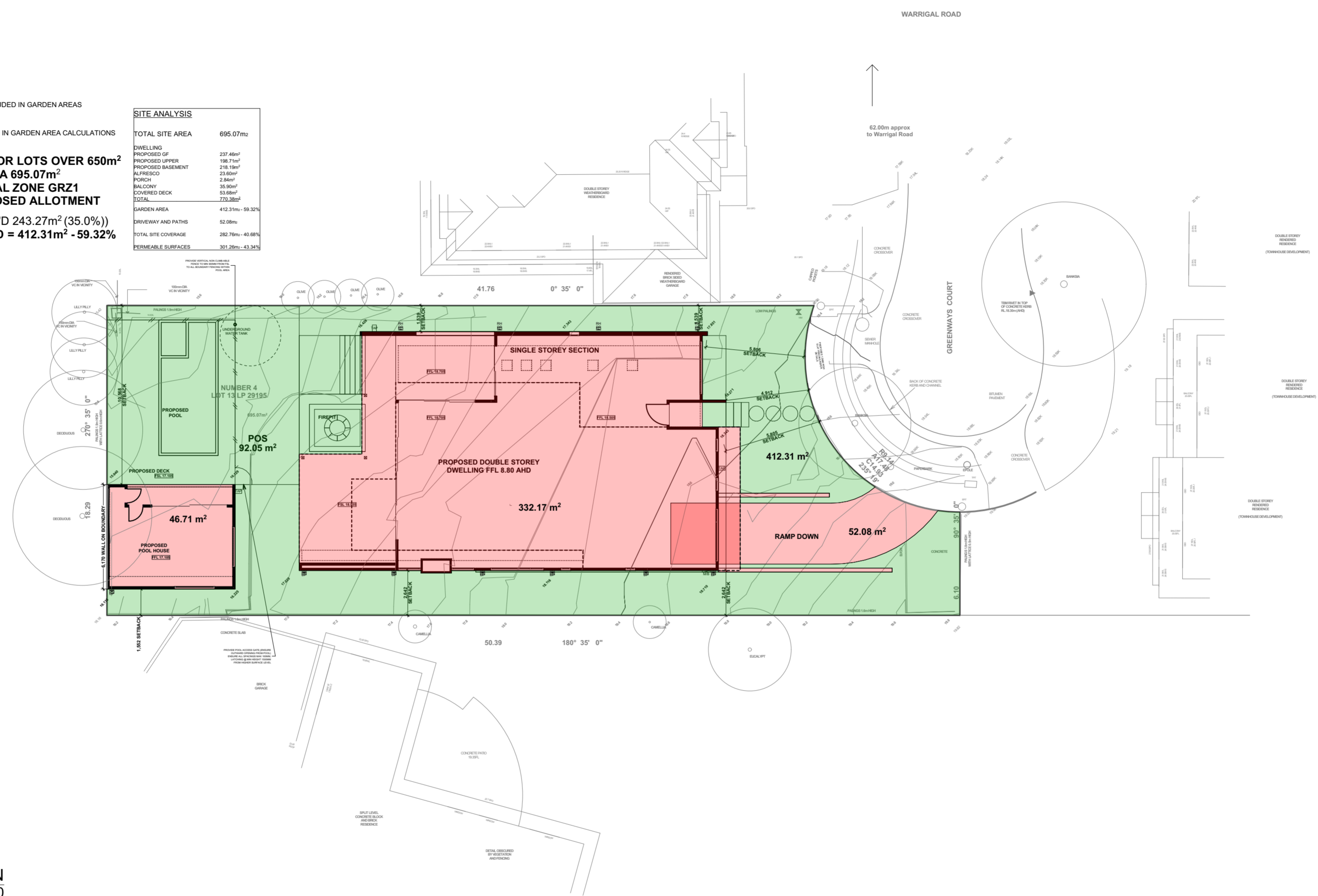
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\* ALL LEVELS SHOWN ARE TO AHD.

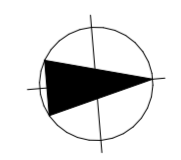
■ DENOTES AREA'S NOT INCLUDED IN GARDEN AREAS  
■ DENOTES AREA'S INCLUDED IN GARDEN AREA CALCULATIONS

**MINIMUM GARDEN AREA FOR LOTS OVER 650m<sup>2</sup>**  
**TOTAL SITE AREA 695.07m<sup>2</sup>**  
**WITHIN RESIDENTIAL ZONE GRZ1**  
**35% FOR TOTAL PROPOSED ALLOTMENT**  
 (MIN GARDEN AREA REQ'D 243.27m<sup>2</sup> (35.0%))  
**GARDEN AREA PROPOSED = 412.31m<sup>2</sup> - 59.32%**

SITE ANALYSIS	
TOTAL SITE AREA	695.07m <sup>2</sup>
DWELLING	237.40m <sup>2</sup>
PROPOSED UPPER	196.71m <sup>2</sup>
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TOTAL	770.38m <sup>2</sup>
GARDEN AREA	412.31m <sup>2</sup> - 59.32%
DRIVEWAY AND PATHS	52.08m <sup>2</sup>
TOTAL SITE COVERAGE	262.76m <sup>2</sup> - 40.68%
PERMEABLE SURFACES	301.26m <sup>2</sup> - 43.34%



GARDEN AREA PLAN  
1:200

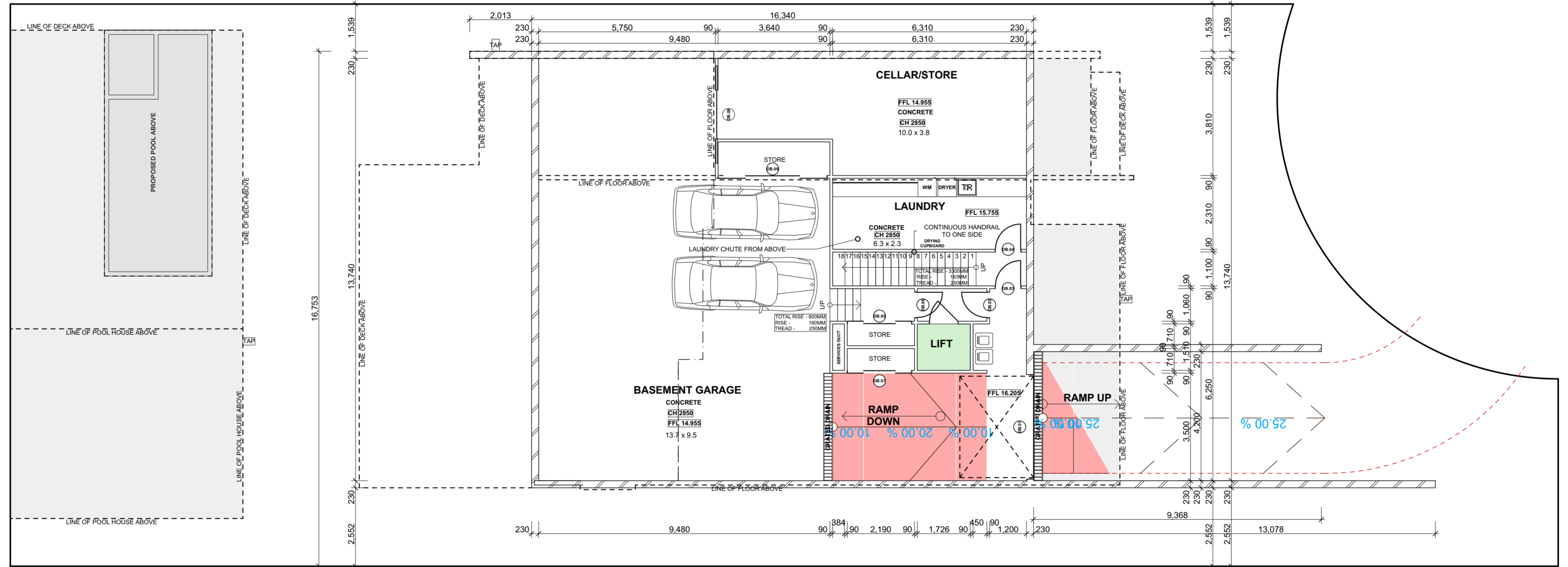


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				project number:	
				19016	
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				WD.04	

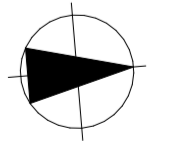
\* ALL LEVELS SHOWN ARE TO AHD.



NOTE: ALL EXTERNAL HINGED AND SLIDING DOORS TO BE FITTED WITH WEATHER STRIPS AND DRAUGHT EXCLUDERS  
 NOTE: ALL EXHAUST FANS AND MECHANICAL VENTILATION - REFER ELECTRICAL PLAN - ALL FANS TO BE SEALED AND DUCTED TO EXTERNAL AIR  
 NOTE: FREE STANDING WALLS TO BE BUILT FIRST  
 NOTE: ALL BRACING REQUIREMENT REFER TO ENGINEERING

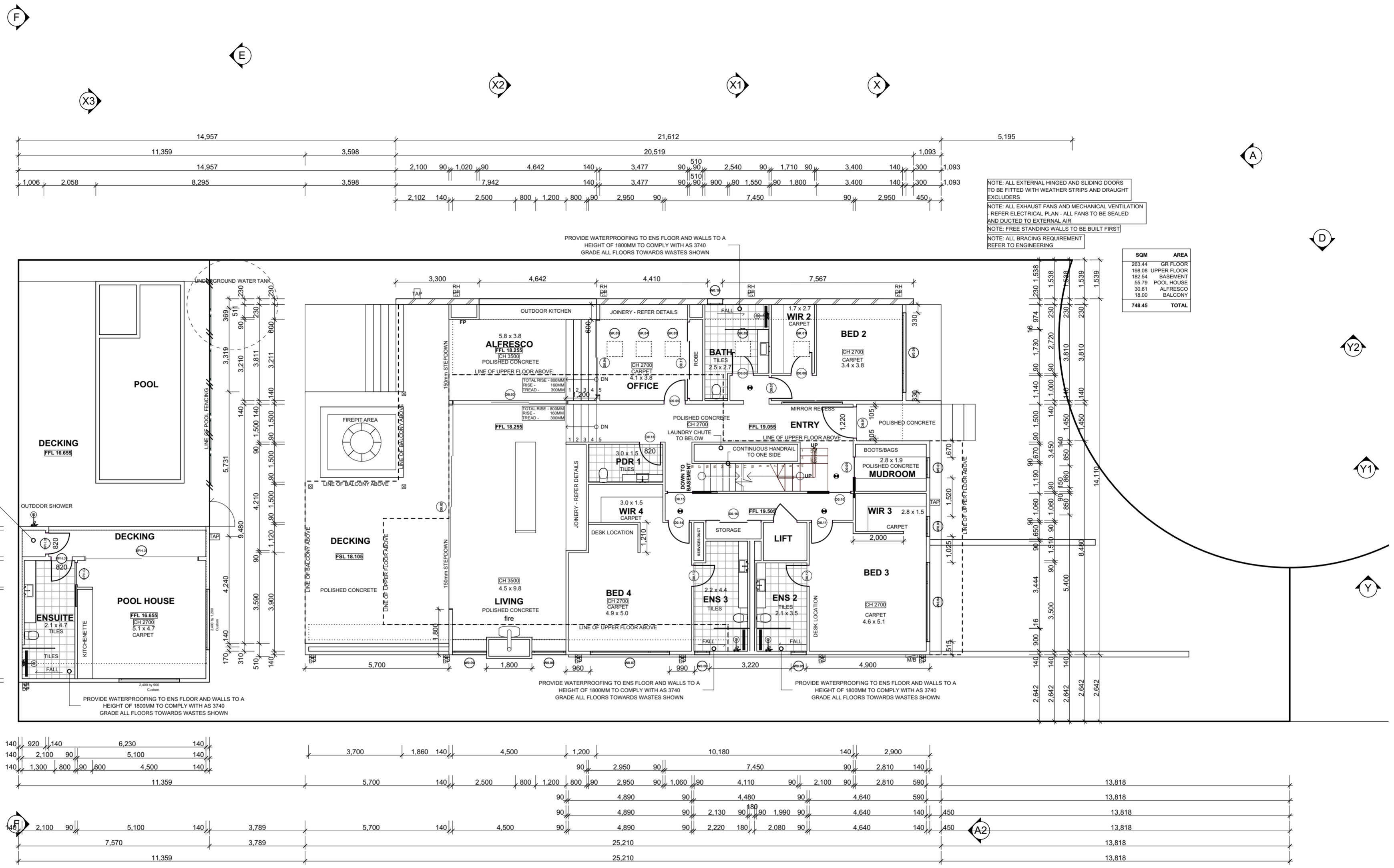


BASEMENT PLAN  
1:100

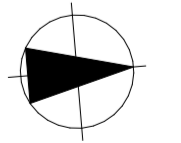


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				scale:	1:100 @ A2
				date:	22/11/2022
				drawn:	LB November 22
					<b>WD.05</b>

\* ALL LEVELS SHOWN ARE TO AHD.

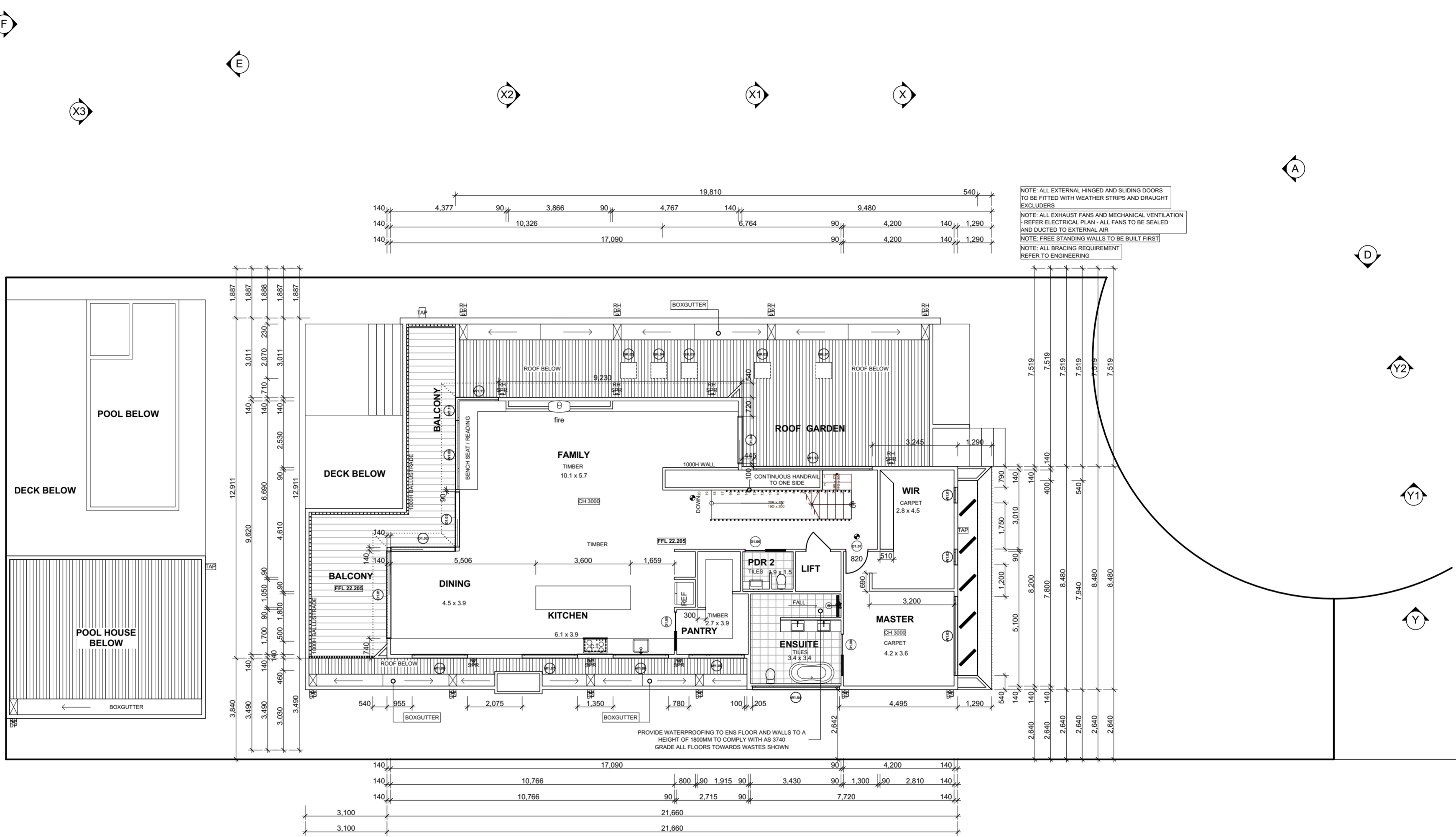


GROUND FLOOR PLAN  
1:120

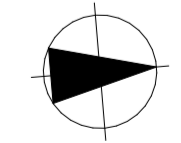


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				project number:	
				19016	
				date:	
				22/11/2022	
				drawn:	
				LD November 22	
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				1:120 @ A2	
				drawing number:	
				<b>WD.06</b>	

\* ALL LEVELS SHOWN ARE TO AHD.



UPPER FLOOR PLAN  
1:120

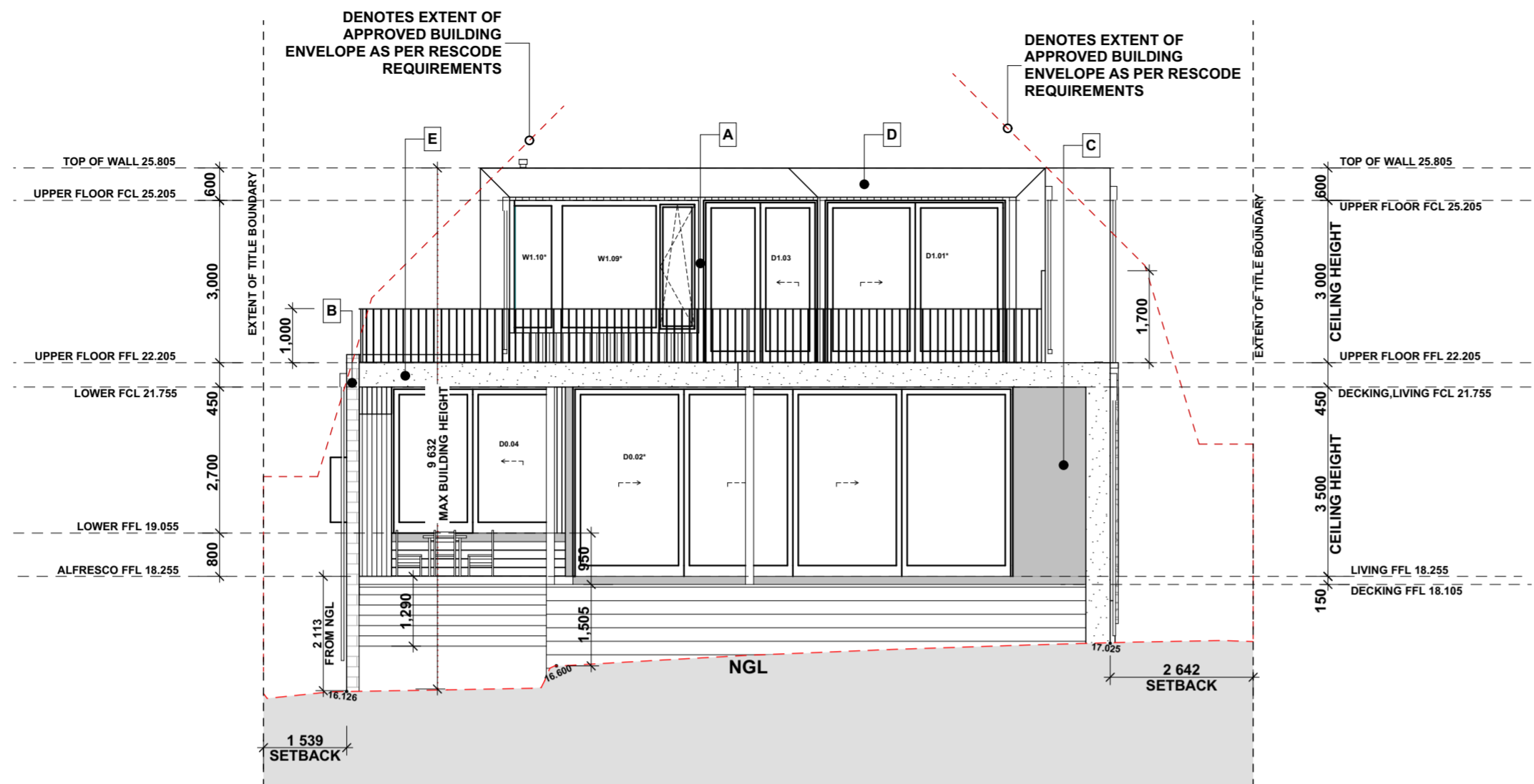


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				date:	22/11/2022
				drawn:	LB November 22



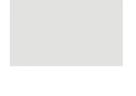




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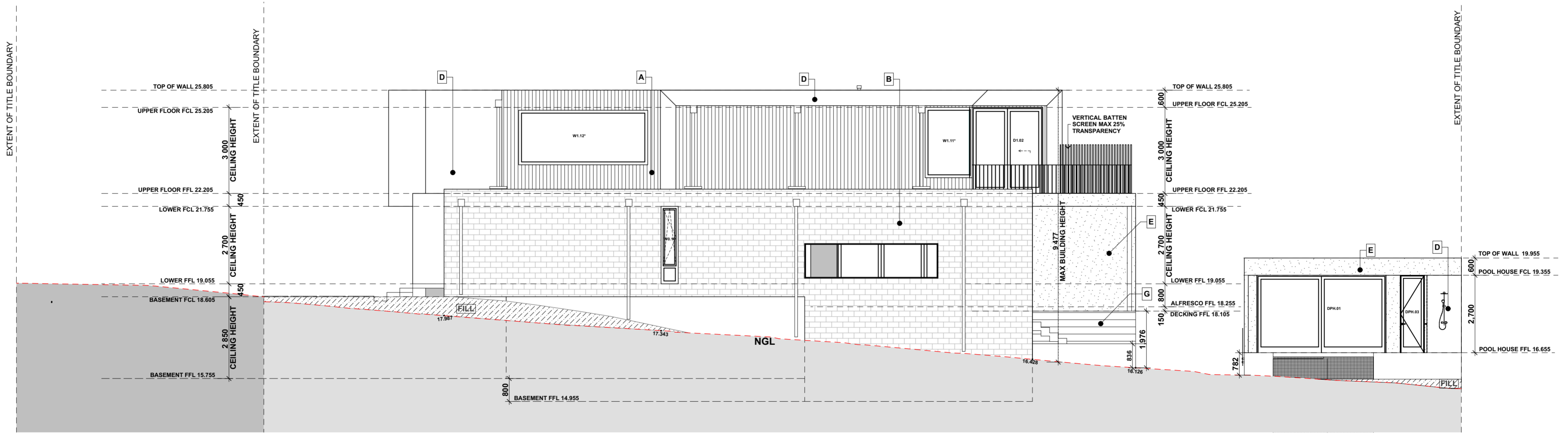






**SOUTH ELEVATION**  
1:100

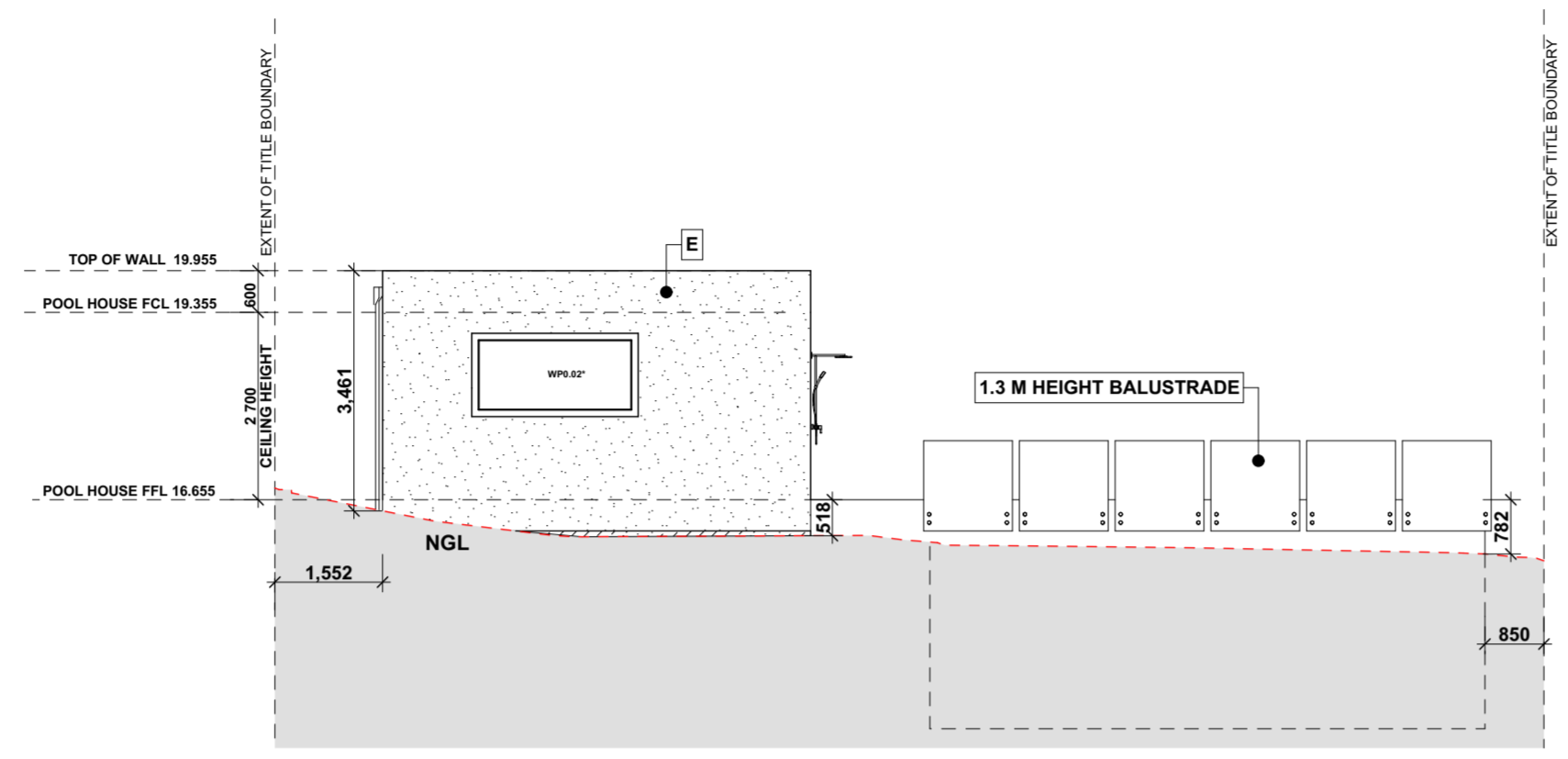
LABEL	MATERIAL	DESCRIPTION
A		VERTICAL WEATHERBOARD
B		RETRO FEATURE WHITE BRICKWORK OR SIMILAR
C		CONCRETE
D		WHITE PAINT
E		RENDER CONTRASTING
F		NATURAL STONE CLADDING
G		SELECTED TIMBER DECKING



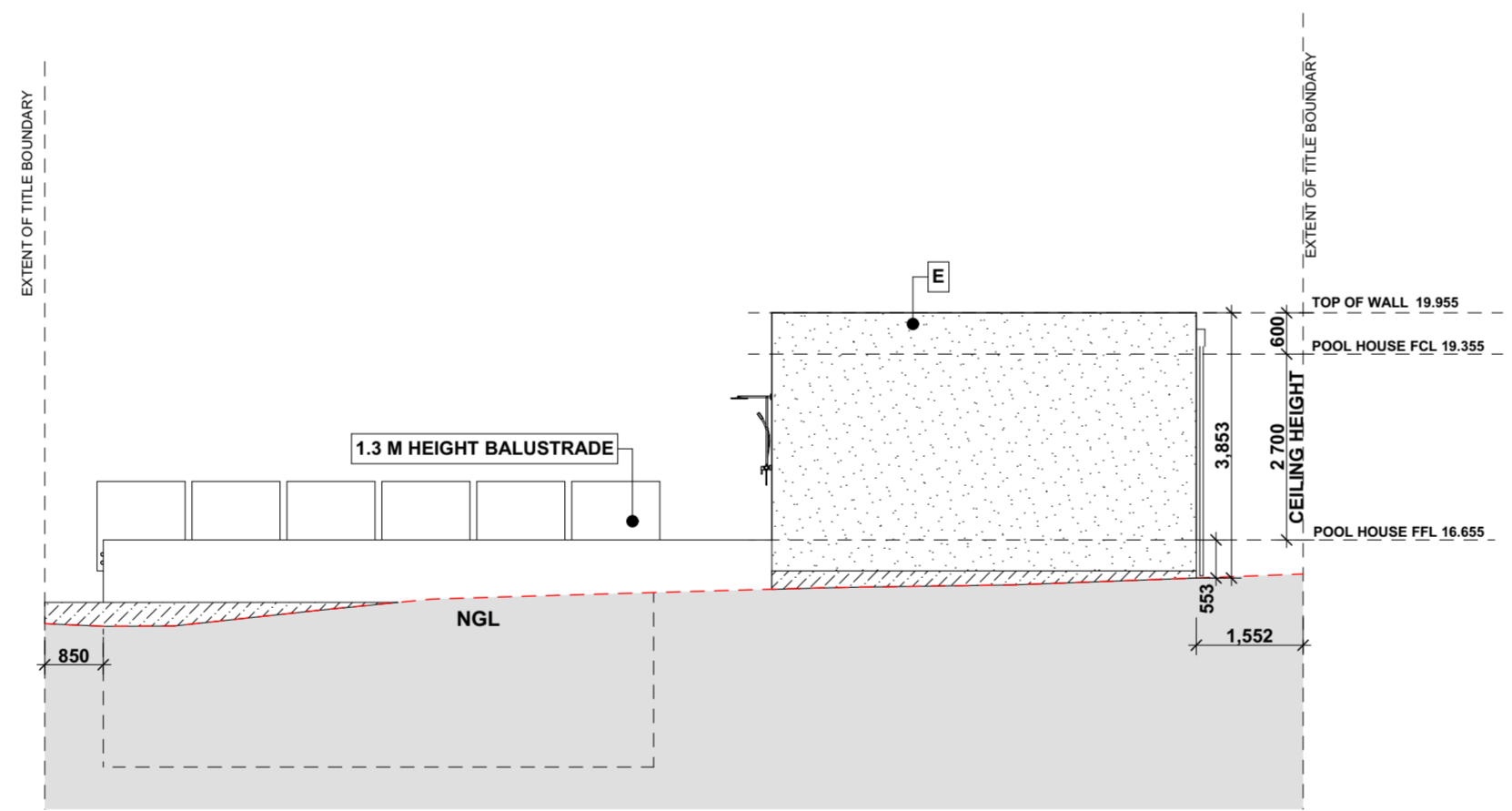
**WEST ELEVATION**  
1:100

revision:	date:	amendments:	address:	drawing title:	client:
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				drawn:	LB November 22



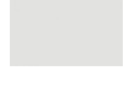

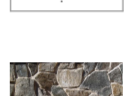


\* ALL LEVELS SHOWN ARE TO AHD.



E ELEVATION P.H  
1:100



F ELEVATION P.H  
1:100

LABEL	MATERIAL	DESCRIPTION
A		VERTICAL WEATHERBOARD
B		RETRO FEATURE WHITE BRICKWORK OR SIMILAR
C		CONCRETE
D		WHITE PAINT
E		RENDER CONTRASTING
F		NATURAL STONE CLADDING
G		SELECTED TIMBER DECKING

revision:	date:	amendments:	address:	drawing title:	client:
				ELEVATIONS	
				project number:	19016
				date:	22/11/2022
				scale:	1:100 @ A2
				drawing number:	WD.11

\* ALL LEVELS SHOWN ARE TO AHD.

# WINDOW SCHEDULE

## GROUND FLOOR

Element ID	W0.01	W0.02	W0.03	W0.04	W0.05	W0.06	W0.07	W0.08	W0.09	W0.10
Height	2,700	2,700	2,700	2,700	2,450	2,450	2,700	3,200	3,200	2,700
Width	3,150	800	800	3,150	600	600	3,150	1,350	1,350	600
Orientation		R	R		L	R				L
W/D Nominal Sill Height	0	0	0	0	250	250	0	300	300	450
W/D Nominal Head Height	2,700	2,700	2,700	2,700	2,700	2,700	2,700	3,500	3,500	3,150
2D Symbol										
3D Front View										

## FIRST FLOOR

Element ID	W1.01	W1.02	W1.03	W1.04	W1.05	W1.06	W1.07	W1.08	W1.09	W1.10	W1.11	W1.12
Height	2,700	2,700	2,700	1,500	1,900	2,700	1,600	1,600	2,450	2,450	2,450	1,900
Width	600	600	3,000	3,300	2,100	2,100	2,100	2,100	2,620	735	1,500	4,500
Orientation	R	R		L	L				R			
W/D Nominal Sill Height	100	100	100	1,300	900	1,200	1,200	1,200	550	550	550	1,000
W/D Nominal Head Height	2,800	2,800	2,800	2,800	2,800	2,800	2,800	2,800	3,000	3,000	3,000	2,900
2D Symbol												
3D Front View												

## POOL HOUSE

Element ID	WP0.01	WP0.02
Height	900	1,200
Width	2,400	2,400
Orientation		
W/D Nominal Sill Height	1,200	1,198
W/D Nominal Head Height	2,100	2,398
2D Symbol		
3D Front View		

revision:	date:	amendments:	address:	drawing title:	client:
				WINDOW SCHEDULE	
				project number:	19016
				date:	22/11/2022
				scale:	1:1 @ A2
				drawing number:	WD.12

\* ALL LEVELS SHOWN ARE TO AHD.

# DOOR SCHEDULE

## BASEMENT LEVEL

Element ID	DB.01	DB.02	DB.03	DB.04	DB.05	DB.06	DB.07	DB.08	DB.09
Nominal W x H Size	3,400x2,400	840x2,700	840x2,700	840x2,700	2,100x2,700	840x2,700	2,100x2,700	1,600x2,700	3,550x2,700
W/D Nominal Head Height	2,400	2,700	2,700	2,700	2,700	2,700	3,500	2,700	2,700
2D Symbol									
3D Front View									

## POOL HOUSE

Element ID	DPH.01	DPH.02	DPH.03	DPH.04
Nominal W x H Size	4,500x2,700	840x2,700	840x2,700	880x2,700
W/D Nominal Head Height	2,700	2,700	2,700	2,700
2D Symbol				
3D Front View				

## GROUND FLOOR

Element ID	D0.01	D0.02	D0.03	D0.04	D0.05	D0.06	D0.07	D0.08	D0.09	D0.10	D0.11	D0.12	D0.13	D0.14	D0.15	D0.16
Nominal W x H Size	1,240x2,700	8,130x3,500	4,570x3,500	3,000x2,700	840x2,700	840x2,700	840x2,700	840x2,700	820x2,700	870x2,700	840x2,700	840x2,700	840x2,700	840x2,700	1,000x2,700	2,190x2,700
W/D Nominal Head Height	2,700	3,500	3,500	2,700	2,700	2,700	2,700	2,700	2,700	2,700	2,700	2,700	2,700	2,700	2,700	2,700
2D Symbol																
3D Front View																

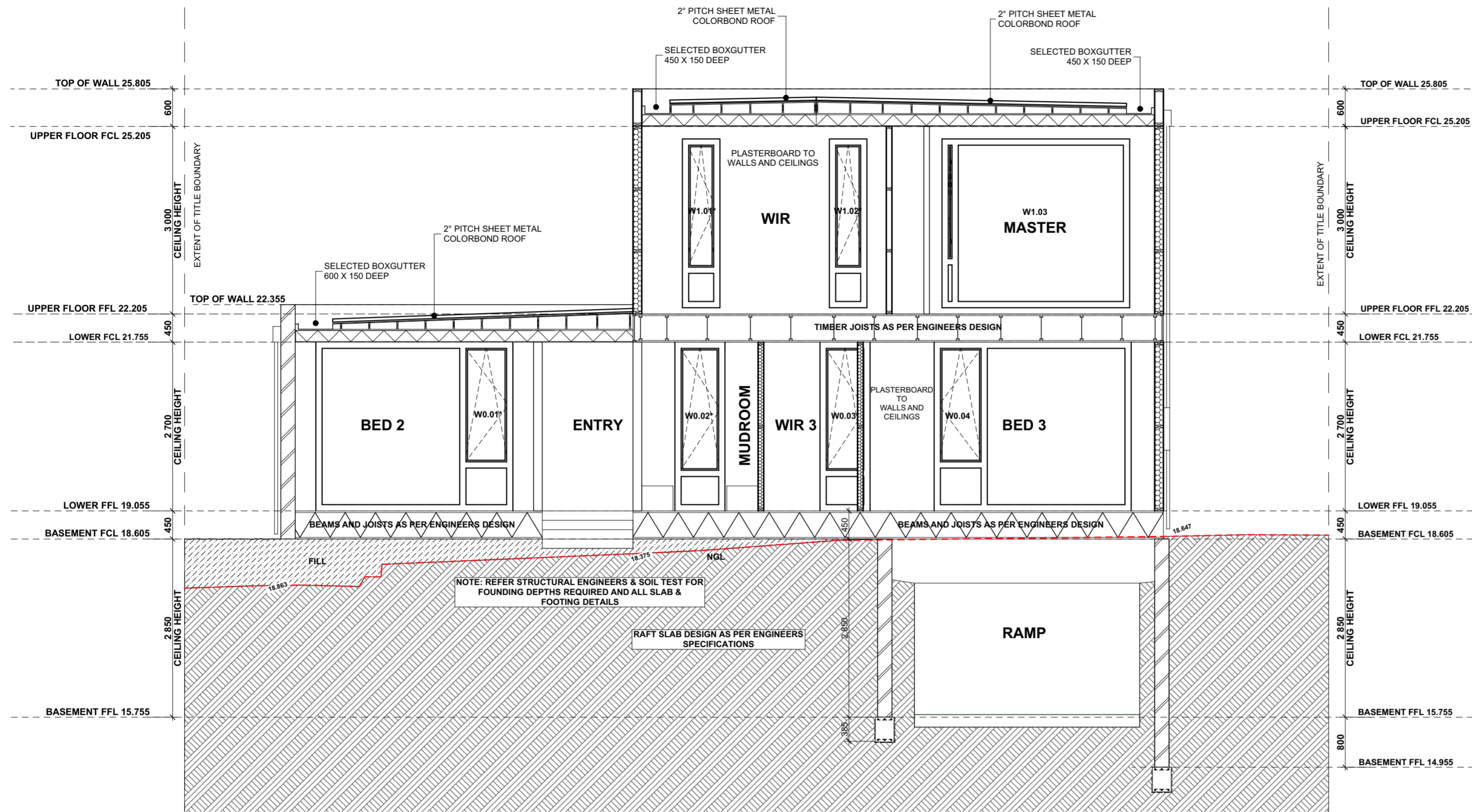
Element ID	D0.17	D0.18
Nominal W x H Size	3,030x2,700	840x2,700
W/D Nominal Head Height	2,700	2,700
2D Symbol		
3D Front View		

## FIRST FLOOR

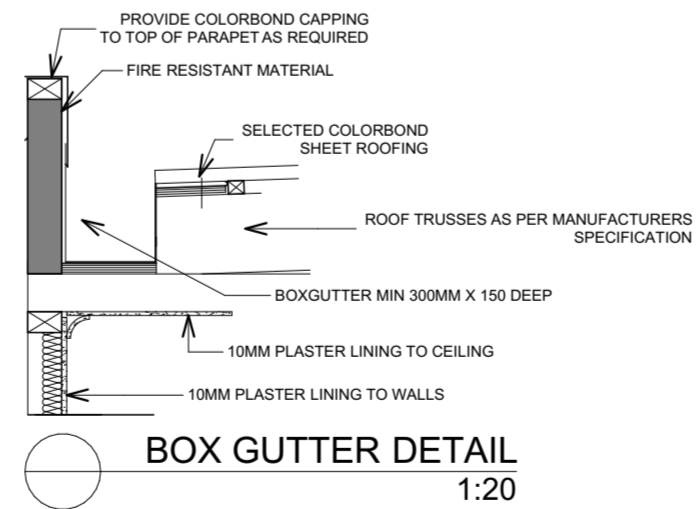
Element ID	D1.01	D1.02	D1.03	D1.04	D1.05	D1.06	D1.07	D1.08
Nominal W x H Size	3,325x3,000	2,460x3,000	2,100x3,000	1,800x3,000	740x3,000	780x2,700	840x2,700	800x2,700
W/D Nominal Head Height	3,000	3,000	3,000	3,000	3,000	2,700	2,700	2,700
2D Symbol								
3D Front View								

revision:	date:	amendments:	address:	drawing title:	client:
				DOOR SCHEDULE	
				project number:	19016
				date:	22/11/2022
				scale:	1:1 @ A2
				drawing number:	WD.13

\* ALL LEVELS SHOWN ARE TO AHD.



SECTION X  
1:60



BOX GUTTER DETAIL  
1:20

**WIND RATING N2  
ROOF PITCH 2°**

- COLORBOND SHEET ROOFING WITH TRUSSES @ 900 CTRS 16mm SIDE CLIPPED CEILING BATTENS @ 600 CTRS 'Span 600' PLASTERBOARD
- PROVIDE 300mm WHIRLY BIRDS
- PROVIDE SARKING TO UNDERSIDE OF ROOFING BATTENS

**MINIMUM 6 STAR REQUIREMENTS**

- R3.5 BATT INSULATION TO CEILING (EXCLUDING GARAGE)
- R2.0 BATT PLUS WALL WRAP TO ALL EXTERNAL HOUSE WALLS INCLUDING HOUSE/GARAGE COMMON WALL (EXCLUDES GARAGE EXTERNAL WALL)
- AUTO RETRACTING EXHAUST FANS (DRAFTSTOPPER INC.)
- SEALS TO HEADS & JAMBS OF EXTERNAL HINGED DOORS
- WEATHERSTRIPS TO EXTERNAL HINGED DOORS
- WEATHERSTRIP TO HOUSE/GARAGE ACCESS DOOR
- CSR 6 STAR CERTIFICATION & INSPECTION INCLUDING TAPED WALL WRAP TO JOINS & ALL PENETRATIONS & POLYESTER STRIP SEAL TO ALL WINDOWS & DOORS.

- CONCRETE SLAB TO ENGINEERS' DESIGN.

**SOIL CLASSIFICATION**

SITE IS CLASSIFIED AS P AS PER AS 2870 - 2011. REFER TO SOIL TEST BY: INTRAX REPORT NO: 60091 DATED: 26/05/15

**TIMBER FRAMING SCHEDULE**

LOWER STOREY LOADBEARING WALLS

MEMBER	SIZE	G	CTRS	SPAN
WAFFLEPOD SLAB				
Btm. plate	2/35x90	F5		
Top plate	2/35x90	F5		
Studs	90x35	F5	600	
Jamb studs 1	2/90x35	F5	1100	
Jamb studs 2	90x45	F17	1700	
Jamb studs 3	2/90x35	F17	3100	
Wall bracing	PLYBOARD			
Noggings	90x35	F5	1350	
Lintel 1	120x45	F17		1300
Lintel 2	190x45	F17		2000
Lintel 3	240x45	F17		2500
Lintel 4	2/290x45	F17		3400
L/B mullion				
TRUSSED ROOF				
Roof Bracing	HOOP IRON			
Roof Battens	25x50	F8	330	

- Based on First Floor truss span of 9000mm max  
\* Sizes may be built up using vertical nail lamination  
~ Min. bearing area required for lintel:  
Nom. 50mm x breadth of lintel

**EXTERNAL LINTEL SCHEDULE**

UPPER FLOOR LINTELS - BASED ON 500mm OF VENEER OVER

SPAN (UP TO)	SIZE	ANGLE
1200mm	75x75x8	MS ANGLE
2100mm	75x100x8	MS ANGLE
3000mm	100x100x8	MS ANGLE

LOWER FLOOR LINTELS - BASED ON 3000mm OF VENEER OVER

SPAN (UP TO)	SIZE	ANGLE
1200mm	75x100x8	MS ANGLE
2100mm	100x100x8	MS ANGLE
3000mm	150x100x8	MS ANGLE

FIRST DIMENSION VERTICAL, 120mm MIN. END BEARING TO LINTELS

**NOTE:**  
PENETRATIONS THROUGH THE SISALATION PAPER ARE TO BE TAPED AROUND CAREFULLY TO ENSURE ANY GAPS ARE SEALED.

COLORBOND ROOFING AT 22.5° PITCH TO MAIN ROOF.

TIMBER ROOF TRUSSES TO MANUFACTURERS & ENGINEERS SPECIFICATIONS AT 600 CTS

GROUND FLOOR STUDS - 90 x 35 F5 AT 600 CTS.  
FIRST FLOOR STUDS - 90 x 35 F5 AT 600 CTS.

10mm PLASTER BOARD TO WALLS.  
10mm SUPERCEIL TO CEILINGS.

BRACING TO BE IN ACCORDANCE WITH PT 3.4 BCA 2006

WATERPROOFING TO WET AREAS TO COMPLY WITH BCA 3.8.1

TREADS TO STAIRS TO HAVE A NON-SLIP FINISH OR SUITABLE NON-SKID STRIP NEAR THE EDGE OF THE NOSINGS

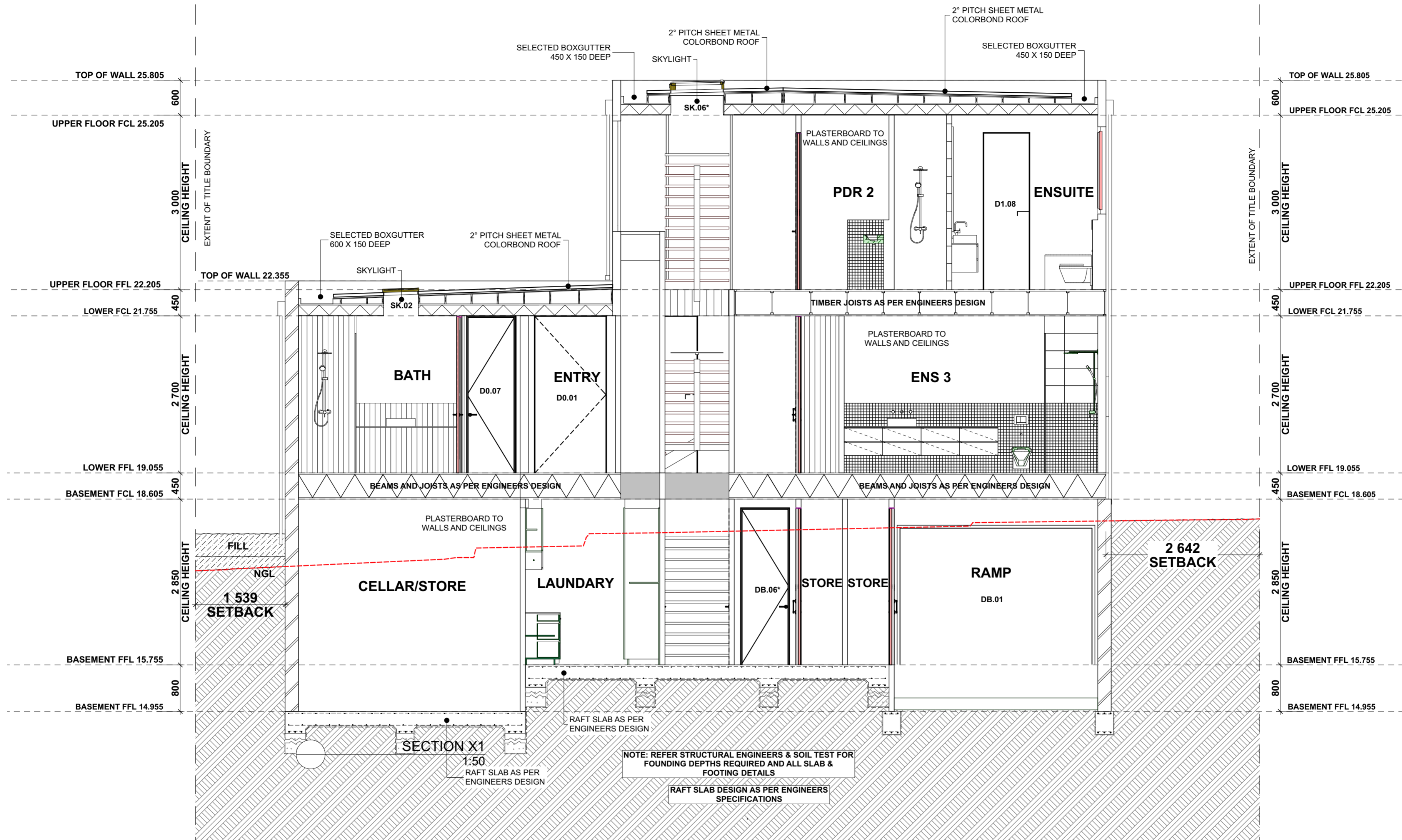
STAIRS- MAX 185mm RISER  
MIN 240mm GOING  
HANDRAIL TO BE 865mm ABOVE LINE OF NOSING AND 1030mm ABOVE LANDING.  
MAX 125mm SPACING BETWEEN BALUSTRADES.

PROVIDE A 2000mm MIN HEAD CLEARANCE MEASURED VERTICALLY ABOVE NOSING

Decking  
140 merbau  
Joist 45/90 @ 450  
Bearers 190/45 @ 1200  
Posts Treated Pine 90/90 @ 1500

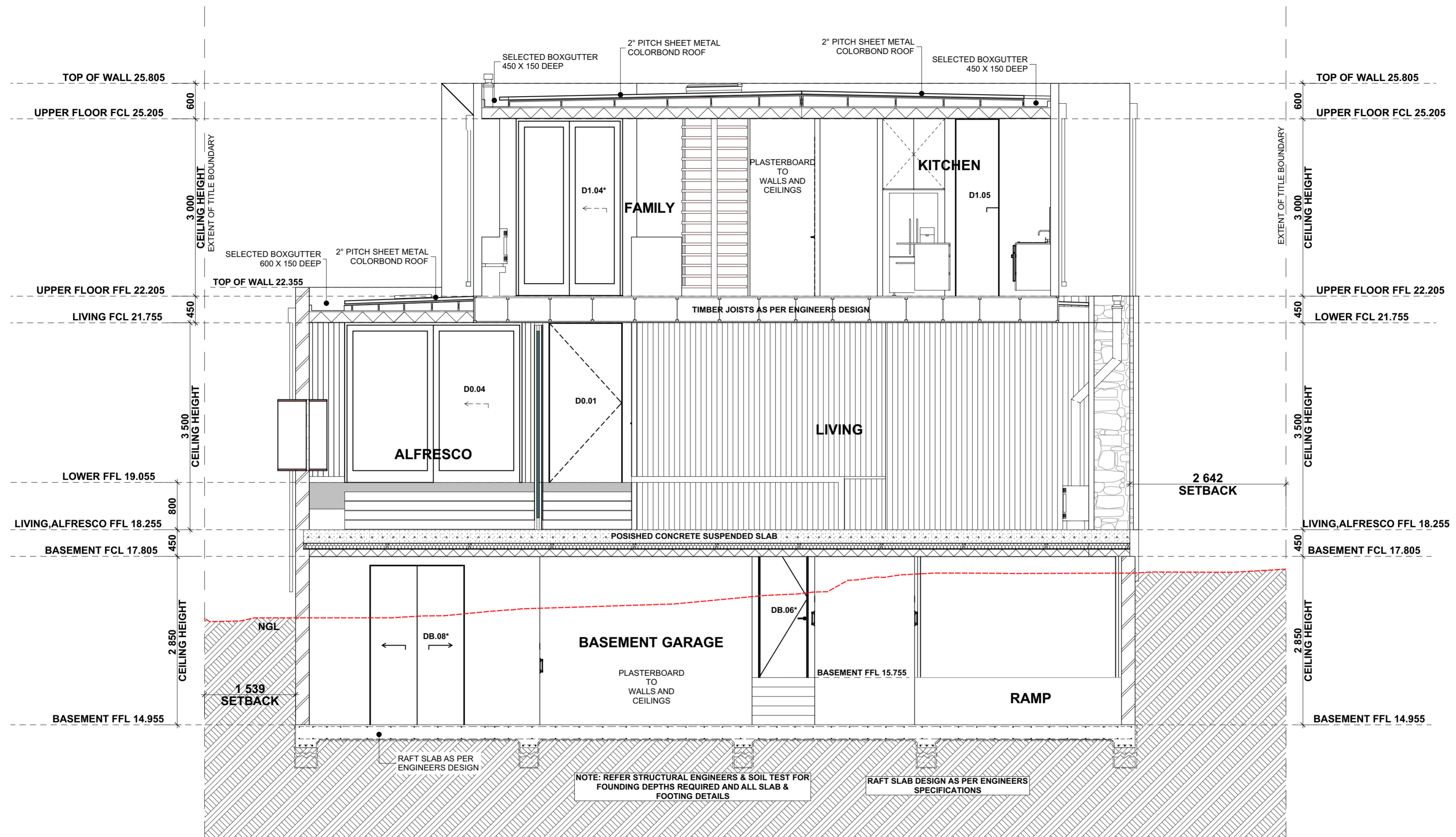
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				SECTIONS	
				project number:	19016
				scale:	1:60, 1:100, 1:20 @ A2
				date:	22/11/2022
				drawn:	LB November 22
				drawing number:	<b>WD.14</b>

\* ALL LEVELS SHOWN ARE TO AHD.



revision:	date:	amendments:	address:	drawing title:	client:
				<b>SECTIONS</b>	
				project number:	19016
				date:	22/11/2022
				scale:	1:50, 1:20 @ A2
				drawing number:	<b>WD.15</b>

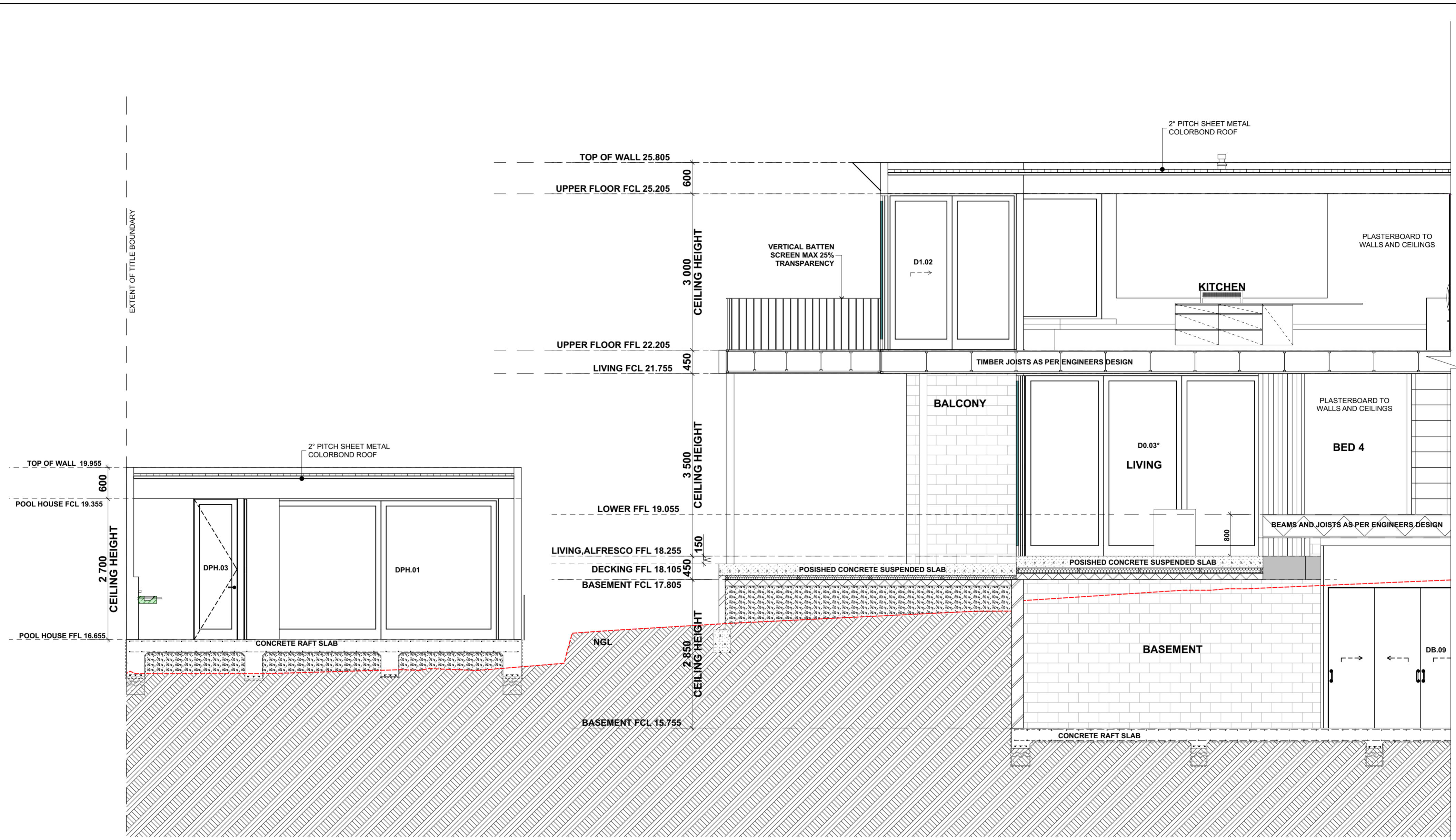
\* ALL LEVELS SHOWN ARE TO AHD.



SECTION X2  
1:50

revision:	date:	amendments:	address:	drawing title:	client:
				SECTIONS	
				project number:	
				19016	drawing number:
				scale:	WD.16
				1:50 @ A2	
				date:	22/11/2022
				drawn:	LB November 22

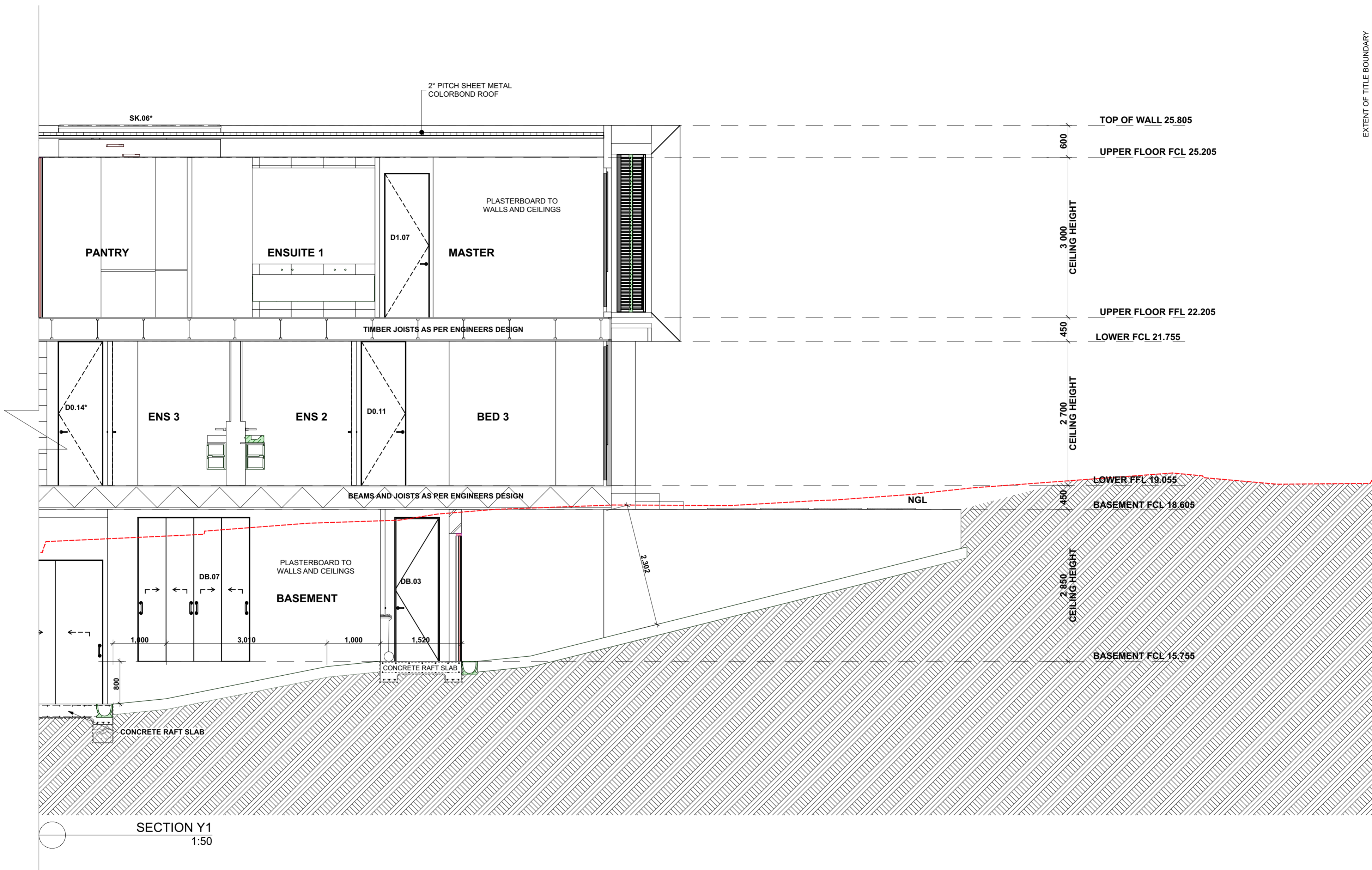
\* ALL LEVELS SHOWN ARE TO AHD.



SECTION Y1  
1:50

revision:	date:	amendments:	address:	client:
drawing title: <b>SECTIONS</b>				project number: 19016
scale: 1:50 @ A2				drawing number: <b>WD.17</b>
date: 22/11/2022				drawn: LB November 22

\* ALL LEVELS SHOWN ARE TO AHD.

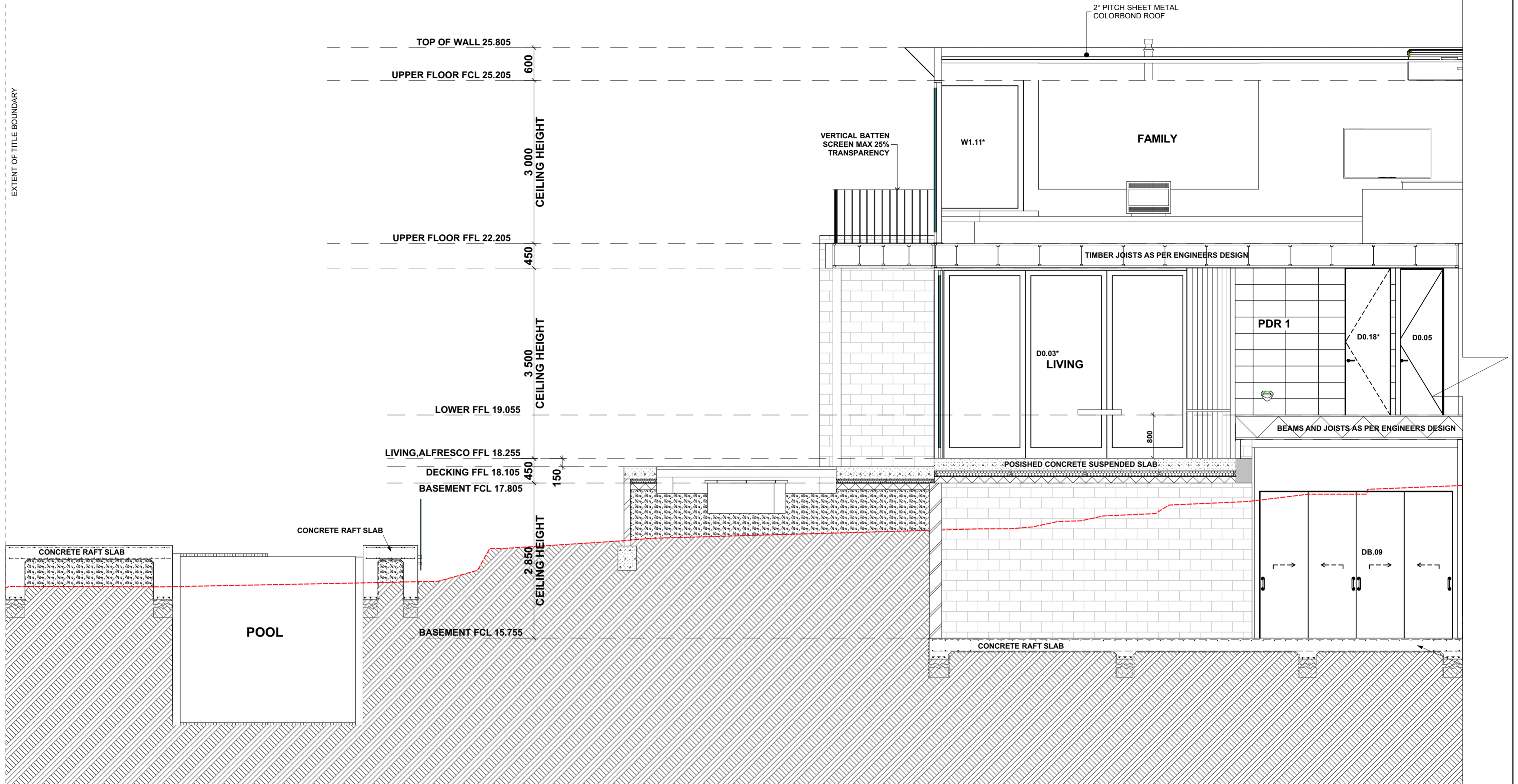


SECTION Y1  
1:50

revision:	date:	amendments:	address:	client:
drawing title:			SECTION	
project number:			19016	
date:			22/11/2022	
scale:			1:50 @ A2	
drawing number:			WD.18	
drawn:			LB	
checked:			November 22	

\* ALL LEVELS SHOWN ARE TO AHD.

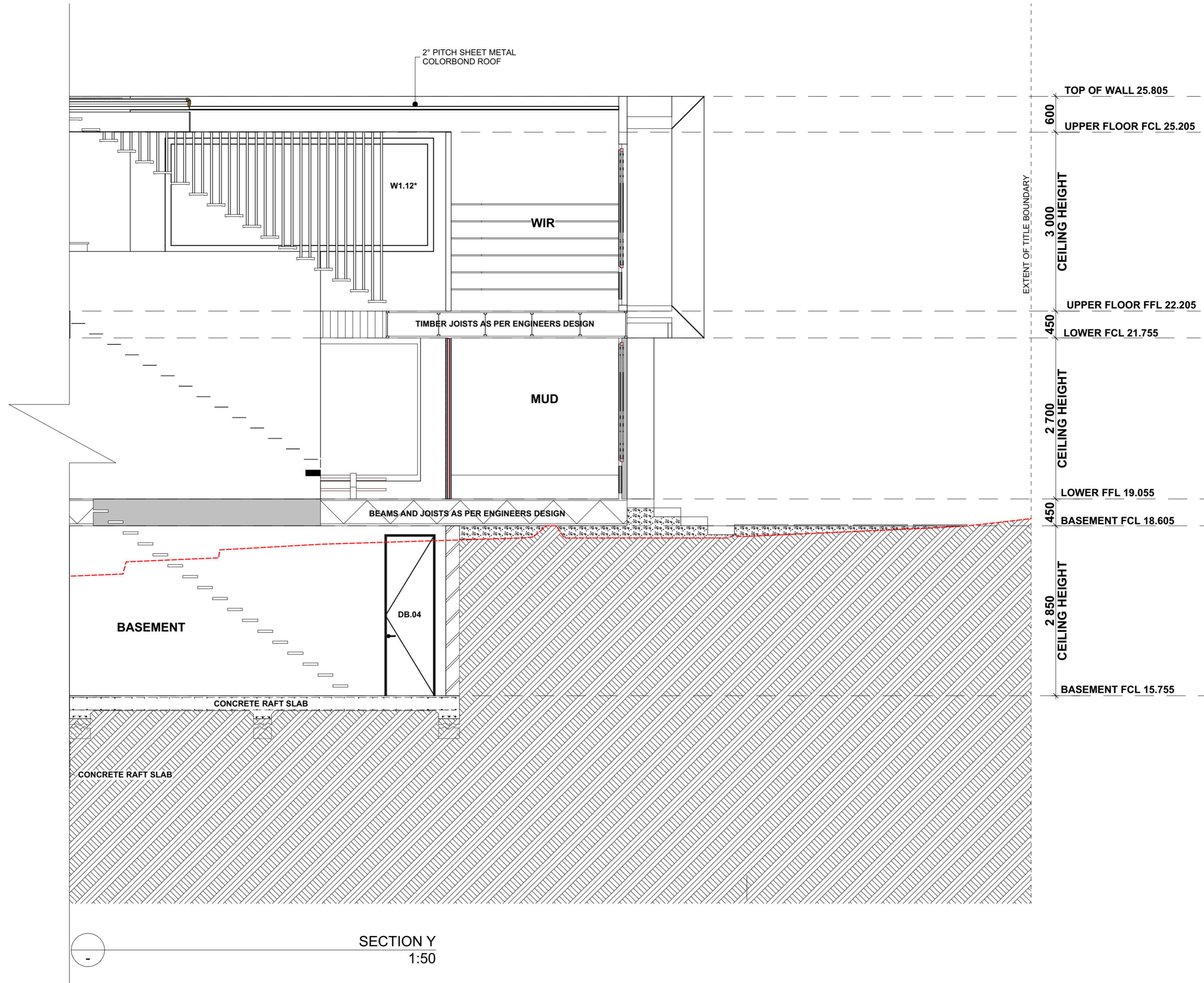
EXTENT OF TITLE BOUNDARY



SECTION Y  
1:50

revision:	date:	amendments:	address:	drawing title:	client:
				SECTIONS	
				project number:	19016
				scale:	1:50 @ A2
				date:	22/11/2022
				drawn:	LB November 22
				drawing number:	WD.19

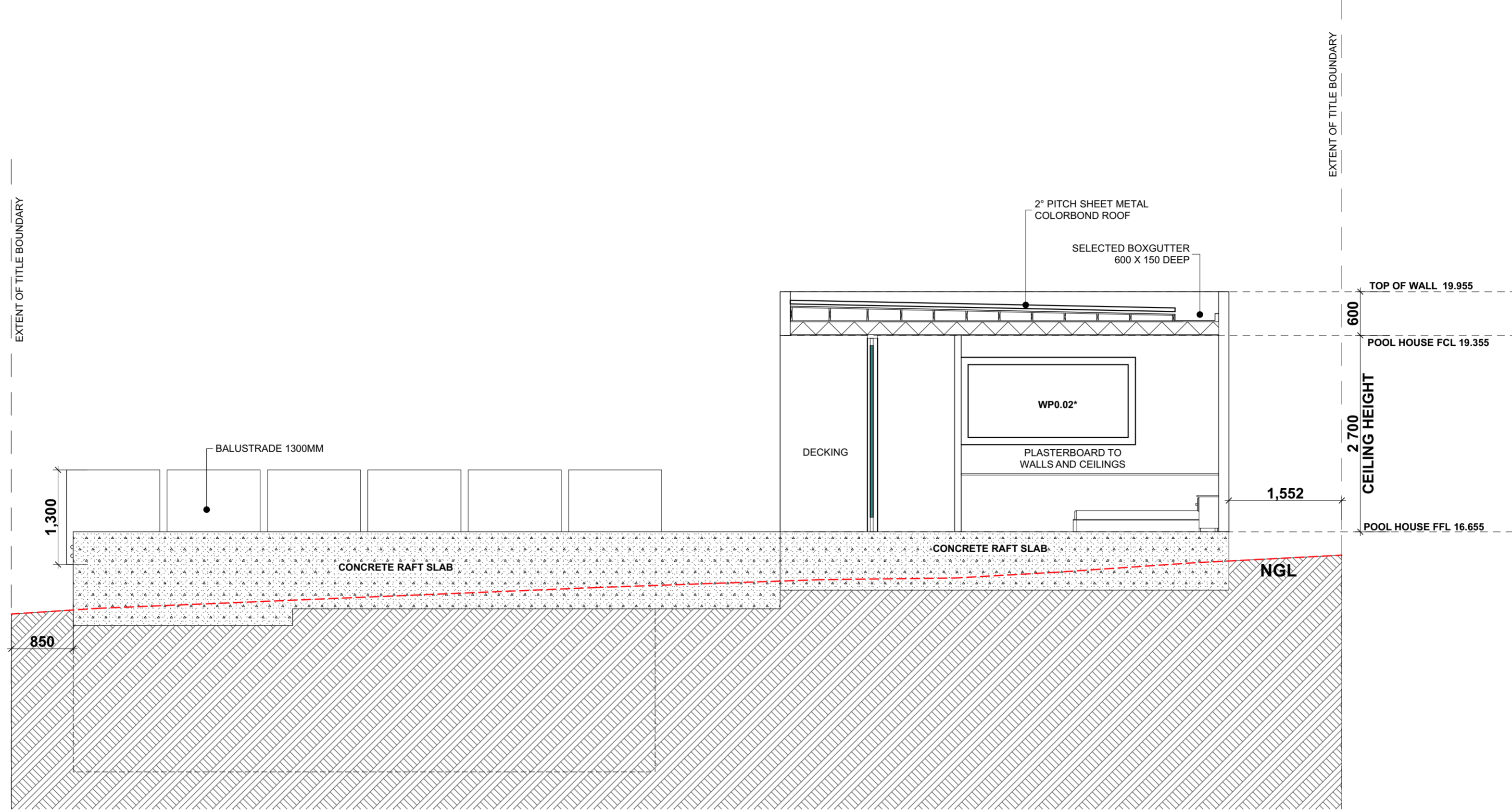
\* ALL LEVELS SHOWN ARE TO AHD.



SECTION Y  
1:50

revision:	date:	amendments:	address:	drawing title: <b>SECTIONS</b>	client:
				project number: 19016	drawing number: <b>WD.20</b>
				scale: 1:50 @ A2	date: 22/11/2022
					drawn: LB November 22

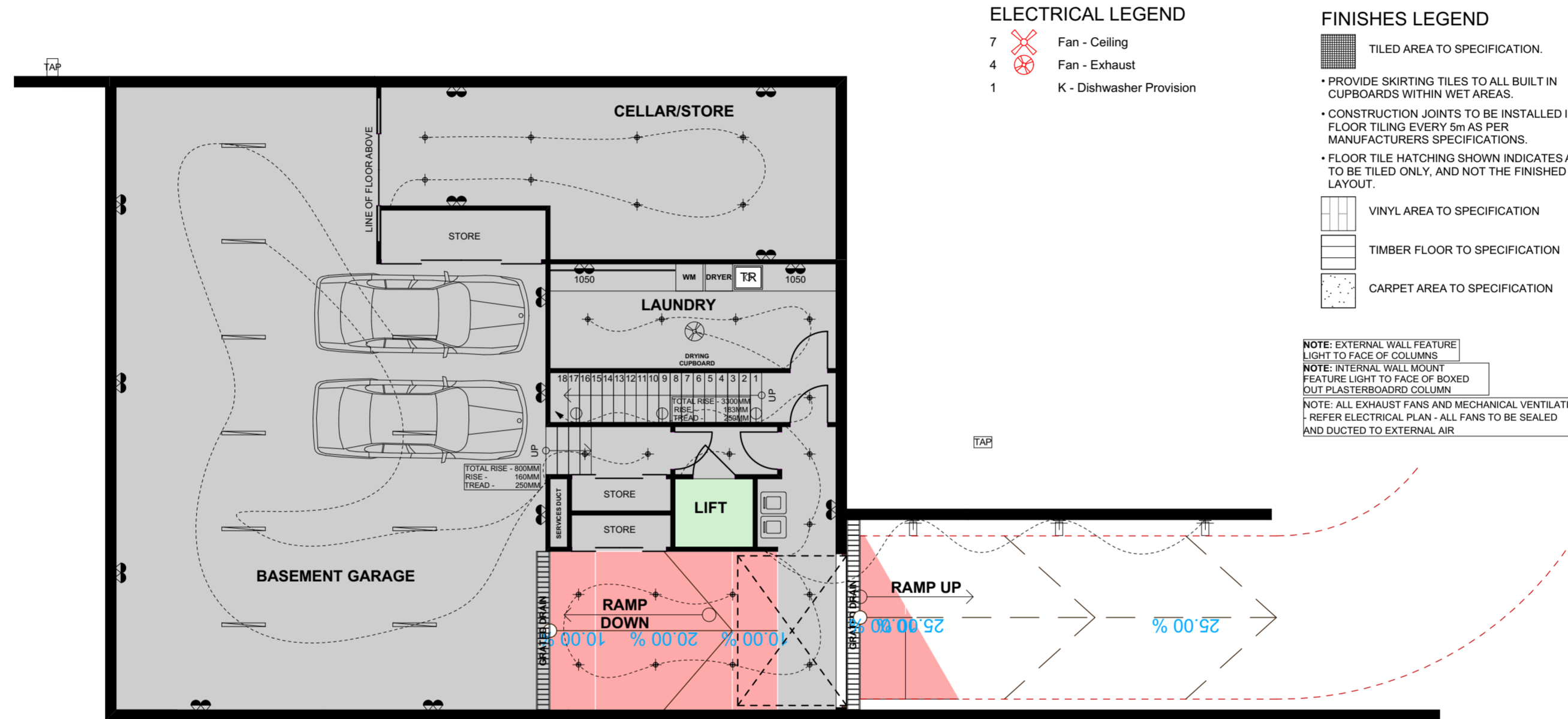
\* ALL LEVELS SHOWN ARE TO AHD.



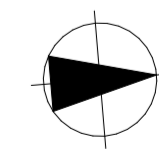
SECTION X3  
1:50

revision:	date:	amendments:	address:	drawing title:	client:
				SECTIONS	
				project number:	drawing number:
				19016	WD.21
				scale:	date:
				1:50 @ A2	22/11/2022
				drawn:	LB November 22

\* ALL LEVELS SHOWN ARE TO AHD.



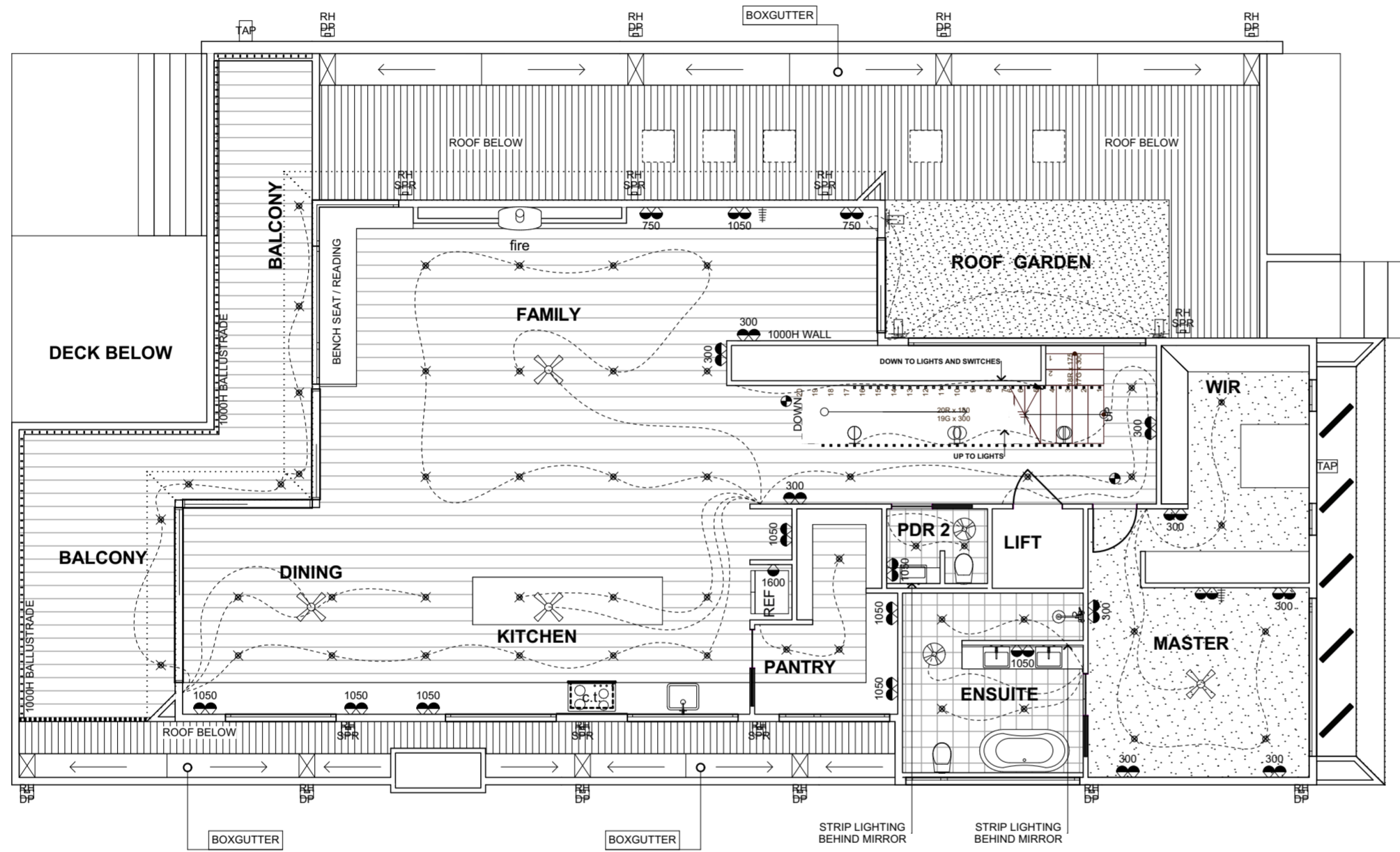
ELECTRICAL BASEMENT PLAN  
1:100



revision:	date:	amendments:	address:	drawing title:	client:
				ELECTRICAL - BASEMENT	
				project number:	19016
				date:	22/11/2022
				scale:	1:100 @ A2
				drawing number:	WD.22

\* ALL LEVELS SHOWN ARE TO AHD.





**ELECTRICAL LEGEND**

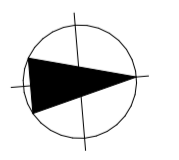
- 7 Fan - Ceiling
- 4 Fan - Exhaust
- 1 K - Dishwasher Provision

**FINISHES LEGEND**

- TILED AREA TO SPECIFICATION.
- PROVIDE SKIRTING TILES TO ALL BUILT IN CUPBOARDS WITHIN WET AREAS.
- CONSTRUCTION JOINTS TO BE INSTALLED IN FLOOR TILING EVERY 5m AS PER MANUFACTURERS SPECIFICATIONS.
- FLOOR TILE HATCHING SHOWN INDICATES AREA TO BE TILED ONLY, AND NOT THE FINISHED TILE LAYOUT.
- VINYL AREA TO SPECIFICATION
- TIMBER FLOOR TO SPECIFICATION
- CARPET AREA TO SPECIFICATION

**NOTE:** EXTERNAL WALL FEATURE LIGHT TO FACE OF COLUMNS  
**NOTE:** INTERNAL WALL MOUNT FEATURE LIGHT TO FACE OF BOXED OUT PLASTERBOARD COLUMN  
**NOTE:** ALL EXHAUST FANS AND MECHANICAL VENTILATION - REFER ELECTRICAL PLAN - ALL FANS TO BE SEALED AND DUCTED TO EXTERNAL AIR

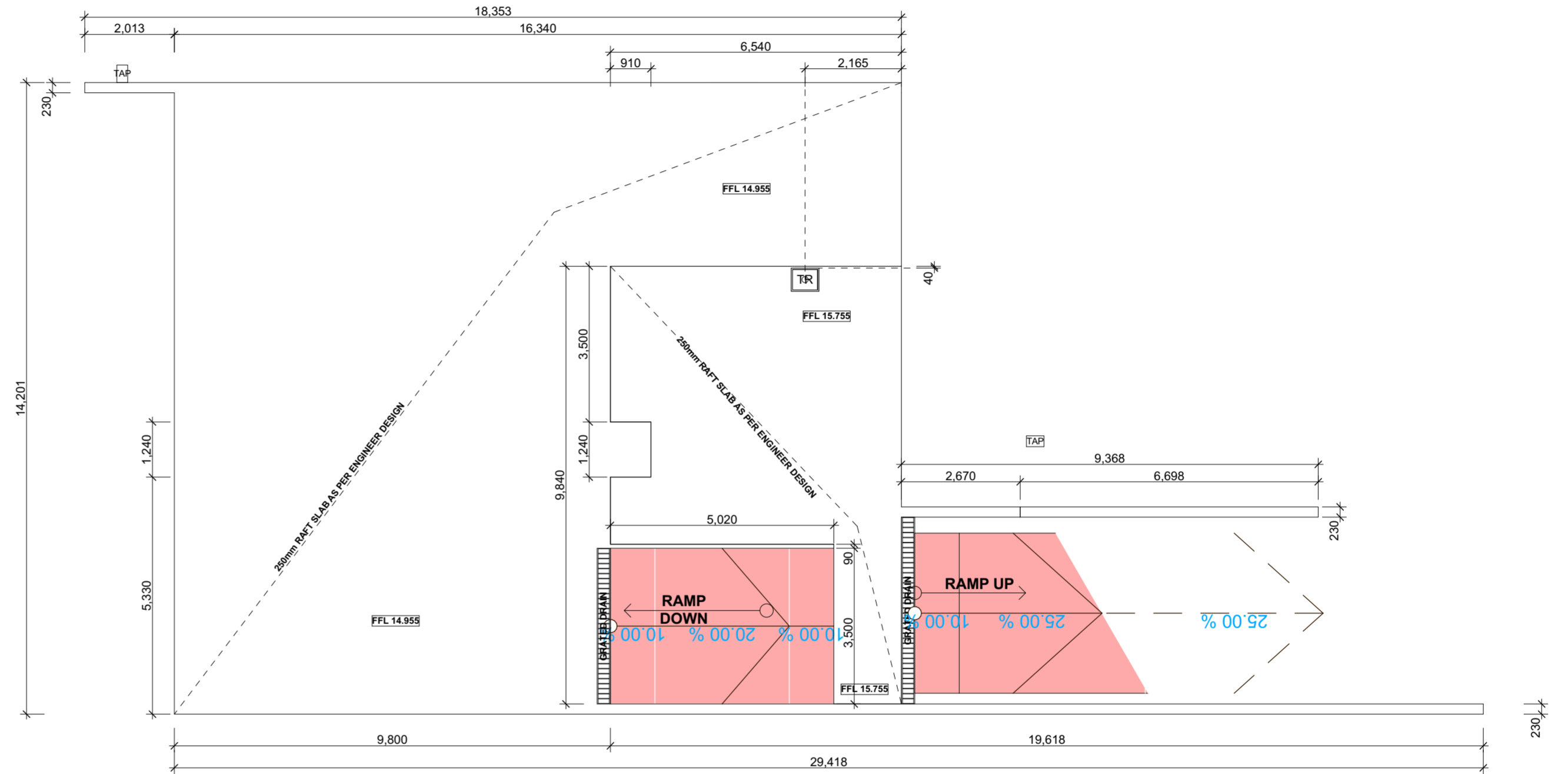
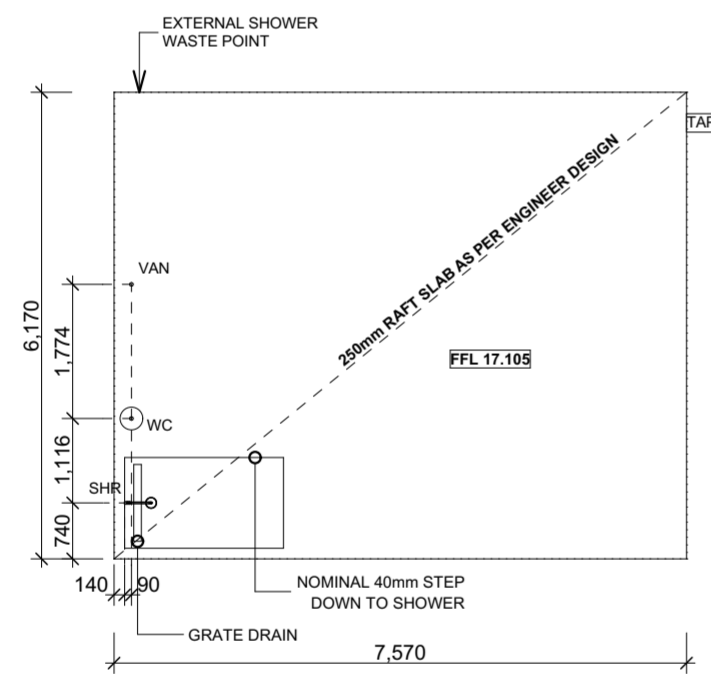
**ELECTRICAL UPPER FLOOR**  
1:100



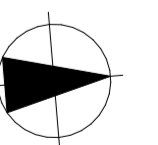
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				<b>ELECTRICAL - UPPER FLOOR</b>	
				project number:	drawing number:
				19016	<b>WD.24</b>
				scale:	date:
				1:100 @ A2	22/11/2022 LB November 22

\* ALL LEVELS SHOWN ARE TO AHD.

NOTE :  
 ALL CONCRETE, SLABS, FOOTINGS  
 STRUCTURAL STEEL, REINFORCING  
 AS PER ENGINEERS DESIGN  
 AND SPECIFICATION.



○ SUBFLOOR  
 1:100



revision:	date:	amendments:	address:	drawing title: SUBFLOOR PLAN	client:
				project number: 19016	drawing number: WD.25
				scale: 1:100 @ A2	date: 22/11/2022
					drawn: LB November 22

\* ALL LEVELS SHOWN ARE TO AHD.